

FEASIBILITY STUDY

October, 2007

Presented to



for the

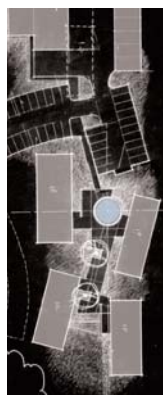
CITY OF DENTON DENTON SENIOR CENTER FEASIBILITY STUDY



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Acknowledgements

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BRW Architects was hired by the City of Denton to examine the feasibility of renovating and expanding the existing Denton Senior Center to accommodate growing programs and numbers of participants, while exploring other options to meet long-term needs. The project scope specifically targeted three different design approaches. The first design approach studied the existing senior center to determine what immediate needs could be accommodated in a renovated and slightly expanded existing senior center. The study also evaluated the feasibility of a long-term major expansion of the Denton Senior Center considering the park, flood plain and utility restrictions. The second design approach studied the purchase and renovation of another existing building. As an example, the Park Department selected the First Baptist Church of Denton. In this case, the study investigated the potential of program functions fitting into existing spaces versus the need for renovation. The third design approach explored the feasibility of constructing a new senior center on a site to be determined.

Process

The process started with an on-site evaluation of the existing Denton Senior Center and the First Baptist Church of Denton. BRW Architects and their consultants evaluated each facility in terms of the overall condition of the buildings, site, utilities, structure, mechanical, electrical, functionality, and accessibility. In a parallel process, the first of two community meetings solicited ideas from participants on desired programs and spaces. Ideas were offered during group discussions as well as through a written programming survey. BRW took the results from the community and Park Department meetings and created a prioritized list of desired programs. The programs were then translated into space requirements and recorded in the Space Program. The Space Program divided the spaces into two categories - immediate needs and long-term needs. The immediate needs propose spaces that must satisfy presently desired programs in multi-function rooms in order to fit in the existing senior center building with only slight expansion. The long-term needs propose spaces that will accommodate a variety of future programming aimed at satisfying the growing senior citizen population for the next ten to fifteen years. Concept designs for immediate and long-term space requirements were developed for the existing senior center, the First Baptist Church of Denton and for a new construction senior center. The new construction Senior Center was designed without site consideration, but the building footprints and required parking were briefly evaluated for several city owner parks. Recommendations then follow on the feasibility and appropriateness of each design approach, along with estimated project budgets and phasing schedules.

Executive Summary

While it is necessary to ensure the next generation of seniors will have an aesthetically pleasing and functional senior center, it is also very important to understand the general mindset of the seniors who currently attend the Denton Senior Center. Many of them feel that it is imperative they see change in the near future.

The current total funding allocated under approved bonds for the existing Senior Center is \$1.9 million. This will only allow for renovation and possibly slight expansion of the existing senior center, but will not address the long-term needs of senior citizens in the community. Proposed modifications to the existing senior center include improved and expanded parking, along with renovation to create a new social lounge, fitness room, activity / media room, library and computer room. Renovations will also include cosmetic improvements and upgrades for accessibility and life safety. The small building addition will expand the existing card playing / library area into a larger game playing area for cards and dominos.

As a long-term solution, this study investigated three approaches – 1) substantial expansion at the existing Senior Center, 2) purchase and renovation of another existing building, and 3) the possibility of building a new Senior Center. These solutions will require significant bond funding. The next of which is tentatively scheduled for 2010 and have traditionally occurred every five years. If funding was approved in 2010, the design and construction of the facility would take approximately two years resulting in occupy in 2012 to 2017, depending on when the bonds were sold during the five year program.

The first long term approach studied the substantial expansion of the existing Senior Center. Expansion is only possible on the north and west sides of the building due to flood plain restrictions to the south and parking to the east. Building restrictions to the north include an existing sanitary sewer line, along with a many mature trees and a play ground structure. While expansion is also possible to the west, it would involve relocation of the existing concrete Band Shell. The larger expansion issue, however, is the overall encroachment into the park with new building area and additional parking. Not only does it affect daily park use, it limits space available for festivals and special events. Our recommendation is that the existing park does not offer sufficient expansion area and that the senior center should be relocated to another site for long-term viability.

As an example of the second long-term approach, the study looked at

purchasing and renovating an existing building. A possibility recommended by the Park Department was the First Baptist Church of Denton located on 1100 Malone Street. The property is not officially for sale, however, the church has plans to build a new complex and anticipates selling the property around 2012. The approximately 11 acre property has an estimated value of \$5 - \$6 million and has two buildings totaling approximately 112,000 square feet. The main Church Facility houses church offices, classrooms, nursery, fellowship hall and a chapel. The second building is the Christian Life Center with a gymnasium, fitness center and recreation spaces. After consideration of several building condition and operational factors, the best location for the programmed 39,000 square foot senior center would be the north one quarter of the complex. While extensive renovation would be required, portions of the fellowship hall and kitchen offer spaces that could be used with minimal renovation. Several possibilities, including other city functions, were discussed for the remaining building area, the existing 1,000 seat sanctuary will be the most difficult to reprogram. The Life Center could certainly be used for other Park Department programs with minimal renovation. The Park Department has also preliminarily discussed the property with the Denton Independent School District, yielding some interest in all or a portion of the property.

The third long-term approach studied construction of a new 37,500 SF facility. It was designed based on projected space needs, but without consideration of site parameters. The facility footprint and required parking were then evaluated for suitability in four existing City park sites identified by the Park Department.

In summary, the current renovation and slight expansion of the existing senior center will only satisfy the senior community needs for a short time period. Because expansion of the existing center is not recommended in Quakertown Park, today's senior center participants must be visionaries and champions for a new senior center. Whether this is a renovated existing building or new construction, it will require a bond election with the anticipation of occupancy in five to ten years from now. The next important step beyond this study is a demographic analysis of Denton looking for numbers and concentrations of senior populations which will inform the potential location areas. Beyond that step, the City should search for potential existing buildings and specific building sites to compare with existing city property.

Space Program

The Space Program shows three columns of spaces. The first column shows the existing Denton Senior Center rooms and their corresponding areas that total 16,430 square feet.

The second and third space program columns propose changes to existing rooms sizes or add new rooms or spaces based on programming input from meetings involving the Park Department, Senior Center Advisory Board and from the two community meetings. Discussions from the community meetings were recorded in Meeting Minutes in the Appendix, but the most informative and specific input came from the written Programming Survey conducted at the first community meeting. Over 100 survey participants voted for their preferences for activities, programs and building spaces. The results were tabulated, prioritized, and translated into the space needs shown in the Space Program.

The second space program column shows intermediate needs relating to the current available funding. It will greatly improve the existing senior center by providing space for high demand programs, particularly fitness, that can't be accommodated with the existing spaces. Three-quarters of the building would be heavily renovated, while a 860 square foot building addition would bring the total building area to 17,290 square feet.

The third space program column shows long-terms needs related to new construction or renovation of an existing building. The projected area for new construction is 37,500 square feet, while an existing building should be at least 39,000 square feet to accommodate inefficiencies with existing conditions. The space program proposes ideal sizes for spaces and proposes separate rooms for functions such as dining, library / computer, media, fitness, dance / aerobics, music, art, and ceramics.

Denton Senior Center Programming Survey

31-May-07

		Rank	#
○ Why do you attend the Senior Center? (Rank 1 through 5 in order of importance - 1 being highest)	Socialize	1	36
	Food / Lunch	5	9
	Travel	3	17
	Health & Fitness	2	23
	Education	4	16
○ Check the typical times you attend the Senior Center:	Morning		87
	Lunch Time		26
	Afternoon		47
	Evening		56
		Yes	No
○ Do you subscribe to the Senior Center News?		87	35
○ Have you ever bought anything at the Craft Store?		101	20
○ Have you ever gone to Wednesday Movie Night?		64	58
○ Have you ever asked for One-on-One Computer Training?		23	98
○ Have you ever borrowed a book from the Senior Center "Mini" Library?		69	52
○ Do you belong to the Ed Bonk Woodshop?		8	115
○ Do you belong to the Denton Domino Club?		2	120
○ Would you use a Fitness Center with exercise equipment?		98	21
○ Should the Senior Center have a separate Floor Exercise Room?		100	17
○ Would you use a Senior Center Gymnasium? For basketball, volleyball, indoor soccer?		23	100
○ Would you use an indoor walking track?		96	22
○ Does the Senior Center need Locker Rooms to change clothes and shower?		44	70
○ Should the Senior Center have a large-screen television?		92	19
○ Do you typically eat lunch at the Senior Center?		24	97
○ Would you pay additional money for better food variety and quality?		58	46
○ Should food be available for purchase throughout the day, other than at lunch?		44	64
○ Should the Senior Center have a separate Dining Room from the Multipurpose Rooms?		92	30
○ Should the Senior Center have Multi-purpose Rooms with a large performance stage?		99	17
○ Should the Senior Center have a covered patio for socializing and activities?		94	19
○ Are you in favor of multi-generational programs? (like Granny & Me Ceramics)		71	36
○ Have you ever rented space at the Senior Center?		17	100
○ Is it a good idea to rent space at the Senior Center?		83	19
○ Do you own a desktop computer?		83	37
○ Do you own a laptop computer?		29	54
○ Do you use the Internet?		78	43
○ Would you support a higher annual fee for additional building amenities and programs?		64	47
○ What was your favorite Senior Center Day Trip? (like Texas Ranger baseball game)	<i>See attached comments</i>		
○ What is your favorite annual Senior Center Special Event? (like Fourth of July lunch)	<i>See attached comments</i>		
○ Your age:	50 - 65 years	18	
	65 - 80 years	78	
	80+ years	27	

- Check the building features that you would be most interested in:

Social Living Room	63	Classroom	50
Multi-Purpose Rooms	81	Library	77
Dining Room	51	Computer Room	59
Coffee / Snack Bar	67	Multi-Media / Television Area	57
Catering Kitchen	42	Outdoor Patio	67
Fitness Center	92	Back Screened Porch	44
Game Playing Area	61	Garden	124
Billiards Area	29	Walking Trails	59
Arts & Crafts Room	62		
Arts & Crafts Store	60		

- Check the programs, clubs, classes, or seminars you are most interested in:

Heath & Fitness		Dance	
Group Exercise	86	Tap Dance	19
Aerobics	40	Line Dancing	49
Tai Chi	29	Swing Dance	42
Stretch N' Tone	75	Ballroom / Social Dance	59
Clubs / Seminars		Triangle Squares	8
Finance	22	Middle Eastern Dance	8
Genealogy	30	Stage Dance	10
Memoir writing	16	Driver Safety	7
Book club	32	Language Classes	20
Cooking	39	Spanish Classes	29
Driver Safety	63	Other Language Classes	11
Computer	54	Music	
Arts & Crafts		New Horizons Band	51
Photography	34	Young at Heart Band	57
Sewing & needlework	32	Bell Chime Choir	17
Art History	18	Senior Center Chorus	22
Painting & drawing	25	Games	
Ceramics & More	23	Bridge	30
Pottery	28	Pinochle	21
Miniatures	3	Canasta, "42", Skipbo	41
RSVP Project Group	18	Other Card Games	50
Card Workshop	30	Pool Tables	29
Reading & Writing		Jigsaw Puzzles	28
Reminiscence Writing	13		
Creative Writing	14		
Reading to Denia	14		

- What other programs should be offered?

See attached comments

Comments

See attached comments

Survey Free Response Answers**What was your favorite Senior Center Day Trip?**

Tyler trip
Galleria shopping
Ranger game
Zoo
Shopping
Football
Dallas art museum
Opera house
Granbury boat cruise
Winstar casino
Stock show
Live musicals
Patsy (Line show)
Horse race
Arboretum
Sam Moon
Bill Gates show
Dublin coke
Clear creek park
Civil war museum
Addison air museum

What is your favorite annual Senior Center Special Event?

Volunteer lunch and seminars
Mother's day brunch
July 4th
New years eve
Summer concerts
Veterans day music and dance
Valentine party
Volunteer honors
Dance activities
Christmas
Texas state fair
Volunteer appreciation day
Book reviews
TTT sale
Dancing on Thursday night

What other programs should be offered?

Book and literature presentations

speaker forums, lectures

Singles activity

pool for water aerobics

AARP mtg. info.

Self-defense course

gourmet cooking

gardening course

mechanics course

Nutrition and one on one help to lose weight.

More economical travel trips

Book clubs

More physical activities

Classes during the week

Health topics

Beauty shops (men & women)

Camera club

Exercise in the evening

Board games

Medical treatment classes

Guitar, trumpet, and other music classes

Art: sketching

World Line Dance

Computer training

Multipurpose room equipped with DVD players, computers, CD, VCR, and slide projector

Opportunity for members to speak about their experiences

Swimming indoor pool

Bible study

Quilting

Watercolor

Oil painting class

CPR and first aid

Flowers arrangement

Cooking demonstrations

More for active seniors during the day

Drama classes

Walking club

Travel programs with guide starting at senior center

Government program updates by professionals

A trip to visit horse ranches in the country

Sex education

Improve woodshop's tools and materials

Yoga

Programs presented by university student who need practice.

Talks by tradesmen

Singles activities

A better afternoon exercise class (mornings are too busy)

Comments:

There needs to be a central location for the center.

Fees shouldn't be high

Stage needs to be higher so able to see instructor.

Need separate card room

computer room needs printer and capability and support digital photography editing and printing

Area outdoors with shaded walk.

Need more variety of advanced classes

Offer Denton seniors a trip to the centers that the firm has built.

Needs comfortable chairs

Larger storage room for the exercise equipment.

The city should be true to the promises they make, stop wasting funds on consultants and feasibility studies.

Needs to have day trips and classes in the evening for people that work during the day.

Keep the woodshop

More exercise machines

Separate room for music rehearsals

Book sales and garage sales accommodate those on low incomes.

We need more parking spaces

Have more equipment available for special group meetings

Acoustics are terrible

Need better P.A. equipment

No carpet

Use civic center for rental only

Need a larger center

Careful scheduling to allow the maximum use of the space.

Art room needs easels and moveable stands for art supplies.

Everyone in stretch and tone class needs to be able to see the stage

Need bigger, more elderly friendly vans

Facility is too small

Rental facility for wheel chairs, walkers, canes, etc.

More storage

Larger library area
Separate ceramic and pottery rooms and separate films
Bus to musicals
More than beginning line and tap dancing
Covered walkway to civic center
Should overbuild for increasing number of seniors
City/county taxes should be first source of support
Not enough publicity about the new horizons band
In need of a larger room for stretch and tone program
Would like more trips and fewer cruises
Need more staff
New kitchen and dishwasher
Larger ceramics room
Consider a second senior center in the southern part of Denton.
Need a larger room for the woodshop.
Need more bike racks
Need a designated room for bridge

Space Program

	EXISTING ROOM NO.	PROGRAM NEED	EXISTING FLOOR AREA (square feet)	IMMEDIATE NEEDS FLOOR AREA (square feet)	APPROX. D (feet)
administration		Reception	165	108	10
		Information Storage	88	88	8
		Office	110	110	10
		Office	100	100	10
		Office	100	100	10
		Office	150	150	15
		Break Room	150	165	20
		Staff Conference Room	276	276	15
		Main Conference Room		-	15
SUB-TOTAL				1,097	
public spaces		Vestibule	130	160	6
		Entry / Lobby / Information	440	480	22
		Coat Room		-	8
		Lounge / Coffee Bar		540	25
		Media Room	621	630	25
		Dining Room		-	40
		H.C. Accessible Men's Restroom	200	200	30
		H.C. Accessible Women's Restroom	200	200	30
		H.C. Accessible Men's Restroom / Shower	297	245	38
		H.C. Accessible Women's Restroom / Shower	330	245	40
SUB-TOTAL				2,700	
program spaces		Fitness - Aerobic / Dance		-	42
		Fitness - Cardio / Weight Machines		1560	40
		Music Room		-	25
		Classroom #1		-	30
		Classroom #2		-	30
		Classroom #3		-	20
		Game Room	704	1070	24
		Computer Room / Library	176	410	30
		Crafts Store	168	240	16
		Multi-purpose	3472	3220	90
		Stage		250	20
		Art Room		-	30
		Art Storage		-	30
		Ceramics Room	806	806	31
	Kiln Storage	176	176	8	
	Wood Shop	895	895	30	
		Tools Room	108	108	12
SUB-TOTAL				8,735	
semi-p		Caterer's Kitchen	324	380	15
		Custodial	88	-	8
		Stage Storage	540	540	30
		Mechanical / Electrical (1)	96	96	12
SUB-TOTAL NET SF				2,032	

Existing Denton Senior Center

The City of Denton's CIP Bonds have been sold in the amount of \$595,000 less administration and Feasibility Study expenses leaving a balance of \$539,875 for design development and parking lot improvements. Additional funding of \$1,305,000 will be sold in June of 2008 less administrative expenses of \$32,625 providing \$1,272,375.00 for construction at the existing building. These limited funds will not allow construction of a new Senior Center or purchase of an existing facility. The best use of the current funding would be the renovation and possibly slight expansion of the existing senior center, along with parking improvements.

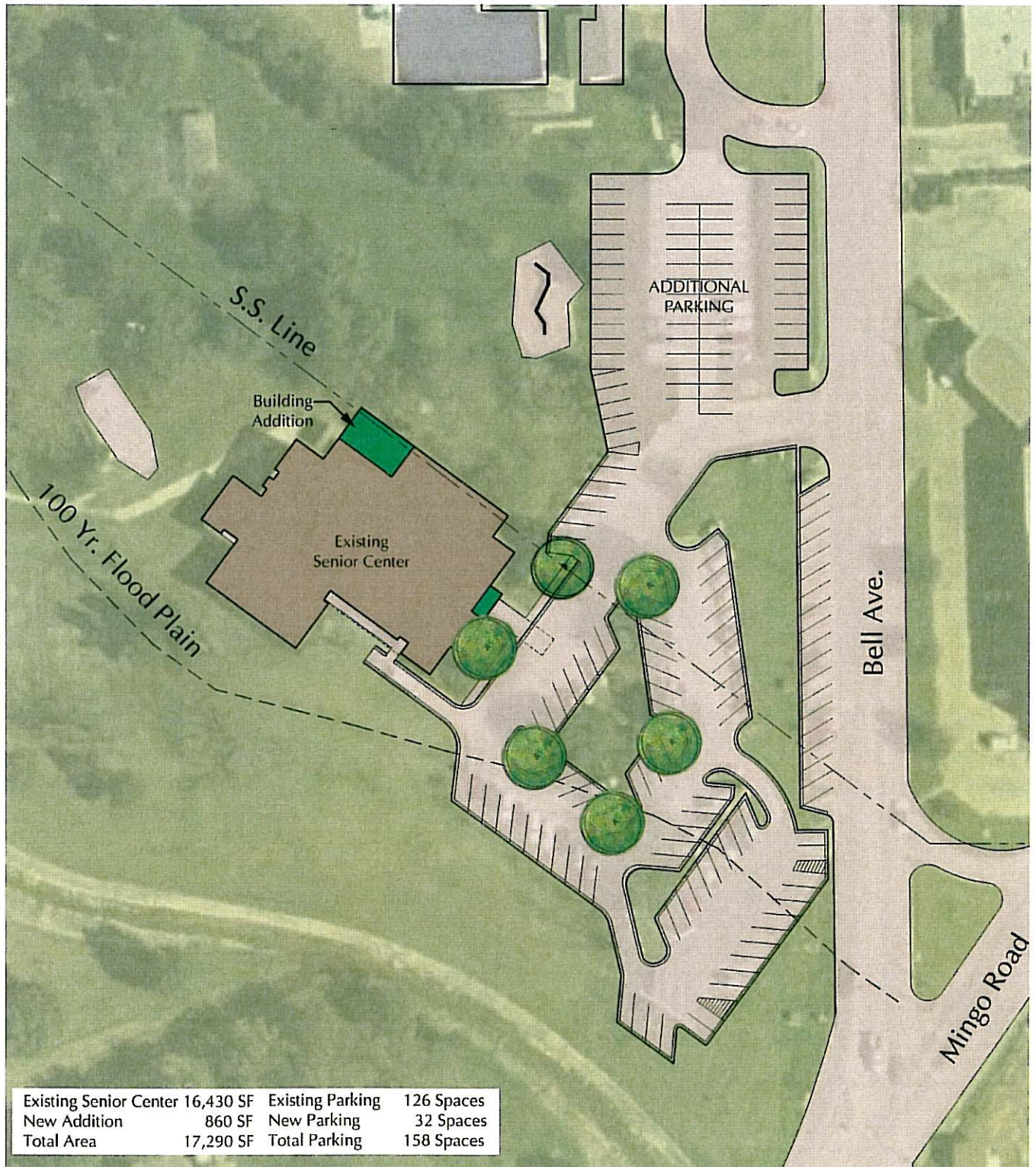
There are two design approaches when considering renovation and expansion of the senior center. The first approach, Option 1, is to more thoroughly renovate the interior and create new spaces that improve the building program use and efficiency, while still providing a modest addition. The second approach, Option 2, is to minimize building renovation and finish improvements, while providing the largest building addition possible within the budget, approximately 2,000 to 3,000 square feet.

Based on discussions at the community meetings and with members of the Senior Center Advisory Committee and Park Department, the highest priority needs for the existing Senior Center are listed below:

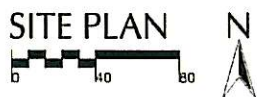
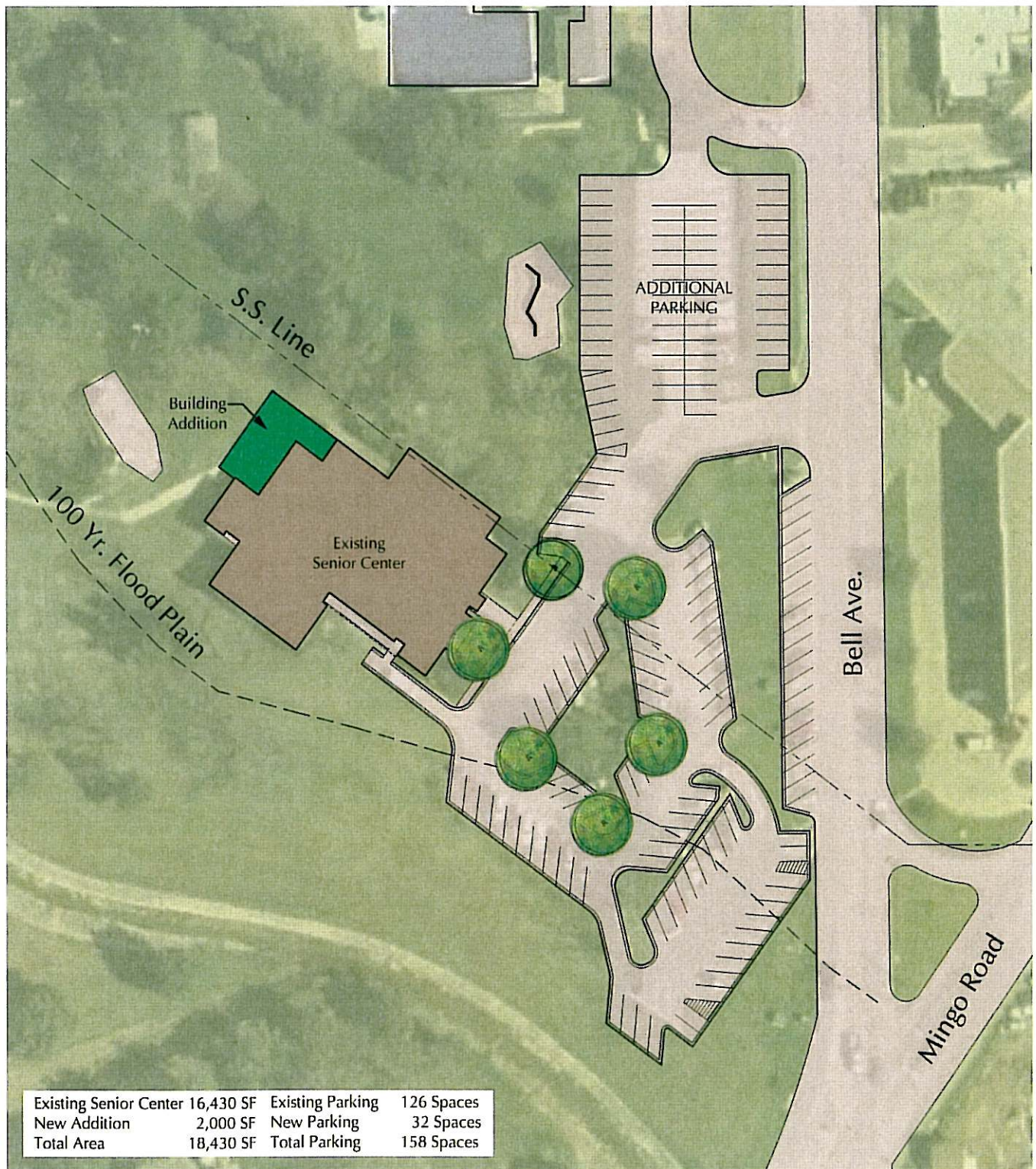
- Parking lot pavement condition improvements and additional parking spaces
- Relocation of the sanitary sewer line under the existing building
- Physical Fitness Room with fitness equipment and / or space for physical fitness activities
- Social Living Room with coffee / snack bar, comfortable furniture and pool table
- Game Room for cards and dominos
- Activity and Media Room with group TV/movie viewing capacity
- Library, Reading and Computer Room

After studying these programmatic needs and comparing them to the existing spaces, it is apparent that portions of the facility are not ideally used. While certain spaces such as the large Multi-Purpose rooms are heavily used through-out the day, other spaces are only used by a small portion of attendees for a few hours per day. The most underutilized spaces include the pool (billiards) area, the domino room, and the wood shop. While these activities may actually deserve their own rooms, the limited area of the existing senior center and high demand for fitness areas, requires the maximum multi-use of spaces. As a solution, the following conceptual senior center renovation and expansion design combines one pool table with a new Lounge that has comfortable furniture

and a self-serve coffee bar. It also converts the existing domino area into a Fitness Room and combines domino and card playing into a new Game Room in a building addition where the existing library is located. The existing front card playing room is converted into a Library / Reading Room. And finally, if the Woodshop could be relocated off site, the existing space would make an ideal Activity / Media Room for additional game playing space or have the capability for a TV lounge or larger movie / lecture gatherings. Although this renovation expansion may not solve long-term needs, it would give patrons a new sense of ownership and pride in their home away from home, while future planning continues.



Study of Building Renovation
Option 1



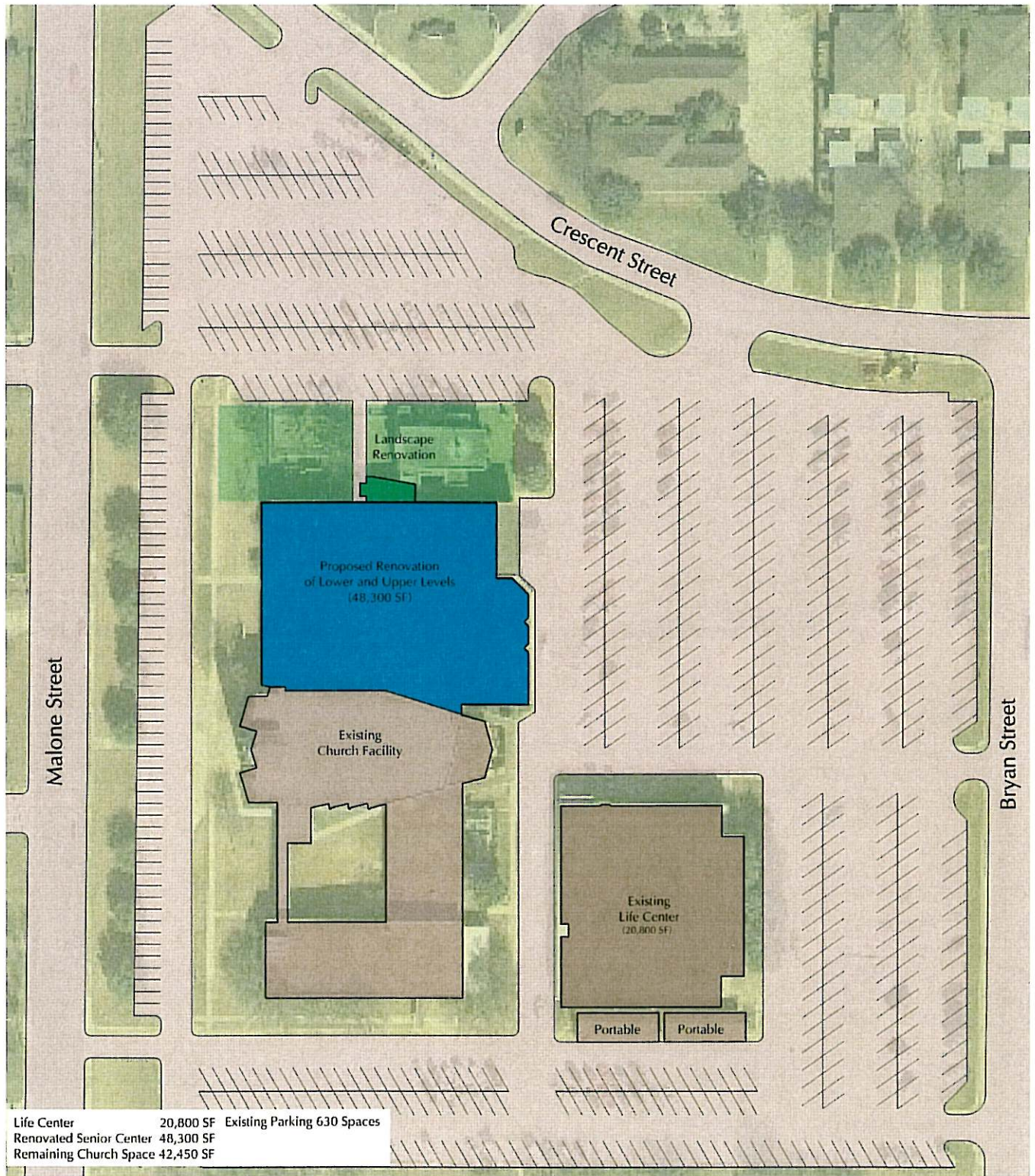
Study of Building Renovation
Option 2

First Baptist Church of Denton

The First Baptist Church property of approximately 11 acres is almost completely covered with parking for approximately 630 cars. The two buildings on site are the Church Facility and the Christian Life Center. The 90,750 square foot Church Facility was originally built in 1967 has had many building additions. The building currently accommodates church offices, classrooms, music rooms, a fellowship hall with dividable multi-purpose rooms and kitchen for several hundred, a youth center, large nursery and pre-school program, and a small chapel. While well maintained, the building has various aged mechanical, electrical, and life safety systems. Recently replaced major components include air cooled chillers, air handlers, and electrical switchgear. The roofs of both buildings are in good condition. The 20,800 square foot Christian Life Center was built in 1975 and is in good condition. While this building was considered for the new senior center, the building is too small and activities would be divided with the Church Facility, resulting in more difficult management and increased operational and staffing costs.

We believe the best location for the new senior center is the area north of the sanctuary, because of the large single block of space that includes the fellowship hall and kitchen and newer mechanical, electrical, and life safety systems. The Space Program proposes a 39,000 square foot facility in a renovation scenario, but the church has several existing spaces that would require light renovation, but are larger than programmed. The proposed design uses approximately 48,000 square feet of existing space. About one-third of the space would require light renovation, such as the fellowship hall. But the remaining two-thirds of space would require demolition back to the structure and complete reconstruction of new rooms and mechanical / electrical systems.

The following two floor plans show a two phase approach for construction. Phase 1 would renovate the first floor and provide 29,000 square feet. Phase 2 would renovate the second floor and provide an additional 19,000 square feet for a total building area of 48,000 square feet.



Life Center 20,800 SF Existing Parking 630 Spaces
 Renovated Senior Center 48,300 SF
 Remaining Church Space 42,450 SF



Study of Bond Program 2010

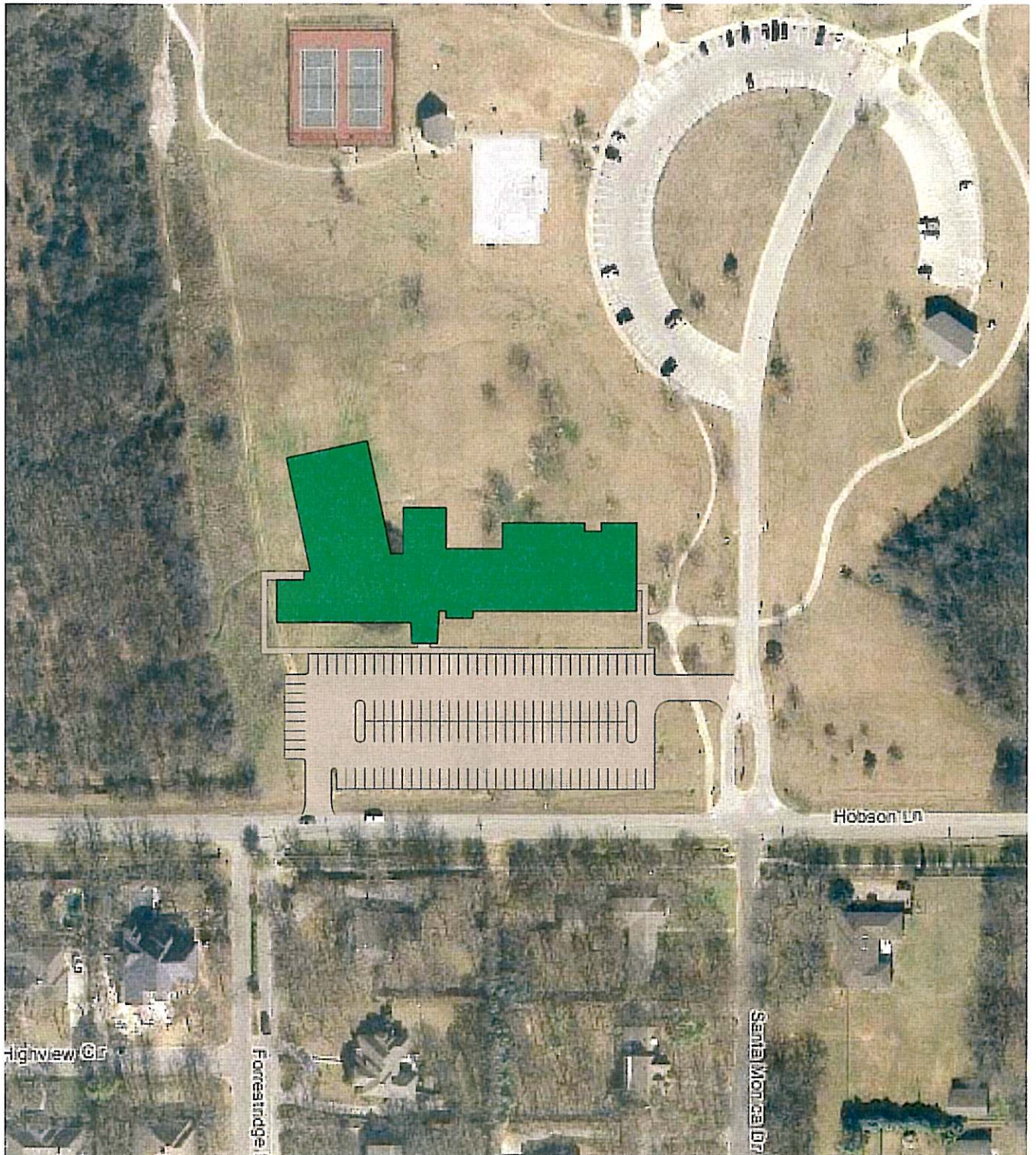
New Construction Senior Center

The largest single advantage of new construction is the ability to have space of optimum size and adjacency. The proposed 37,500 square foot senior center was designed without a designated site, but takes advantage of ideal circulation relationships and solar orientation. The plan should be adjusted according to the actual site, yet still maintain its overall structure.

While the floor plan accommodates many of the same functions as the existing Senior Center, the main difference is the allocation of dedicated rooms, in lieu of many multi-purpose rooms. These new dedicated amenities include separate dining, media (for video viewing), library / computer, dance / aerobics (in addition to a fitness room), music, art, and ceramics rooms. Other rooms that require further discussion to optimize their effectiveness include the woodshop, changing / shower rooms for fitness programs, the character and scale of the social lounge / living room, and the kitchen as related to the desired food service operations. Another subject for further consideration are outdoor spaces. Several desired programs of interest gathered from the community meetings were a garden and outdoor walking trails. At a minimum, the new senior center should have covered outdoor patios for casual eating and conversations, along with a drive through porte coacher for covered building entry.

Following the Floor Plan are conceptual renderings of possible building massing and image. In order to capture the final image and overall impression of the new senior center, the City and center participants should discuss the unique characteristics of Denton and attempt to reflect them in the architecture and site design.

Following the renderings, site plans of the new senior center, along with approximately 135 cars, are shown in four city parks selected by the Park Department in order to study the its scale and impact on the existing park amenities. The four parks are Mack Park, Lake Forest Park, North Lakes Park, and South Lakes Park. The parks were not selected to align with locations of Denton's senior populations, but simply as "fit" studies in city owned property. The next step beyond this study is a demographic study to investigate current and future numbers and concentrations of senior populations. This information will inform potential project locations and verify the appropriate scale facility. The demographic study should also run parallel with dialogue with senior center participants about their preferred project location and options for transportation.



SITE PLAN
NOT TO SCALE



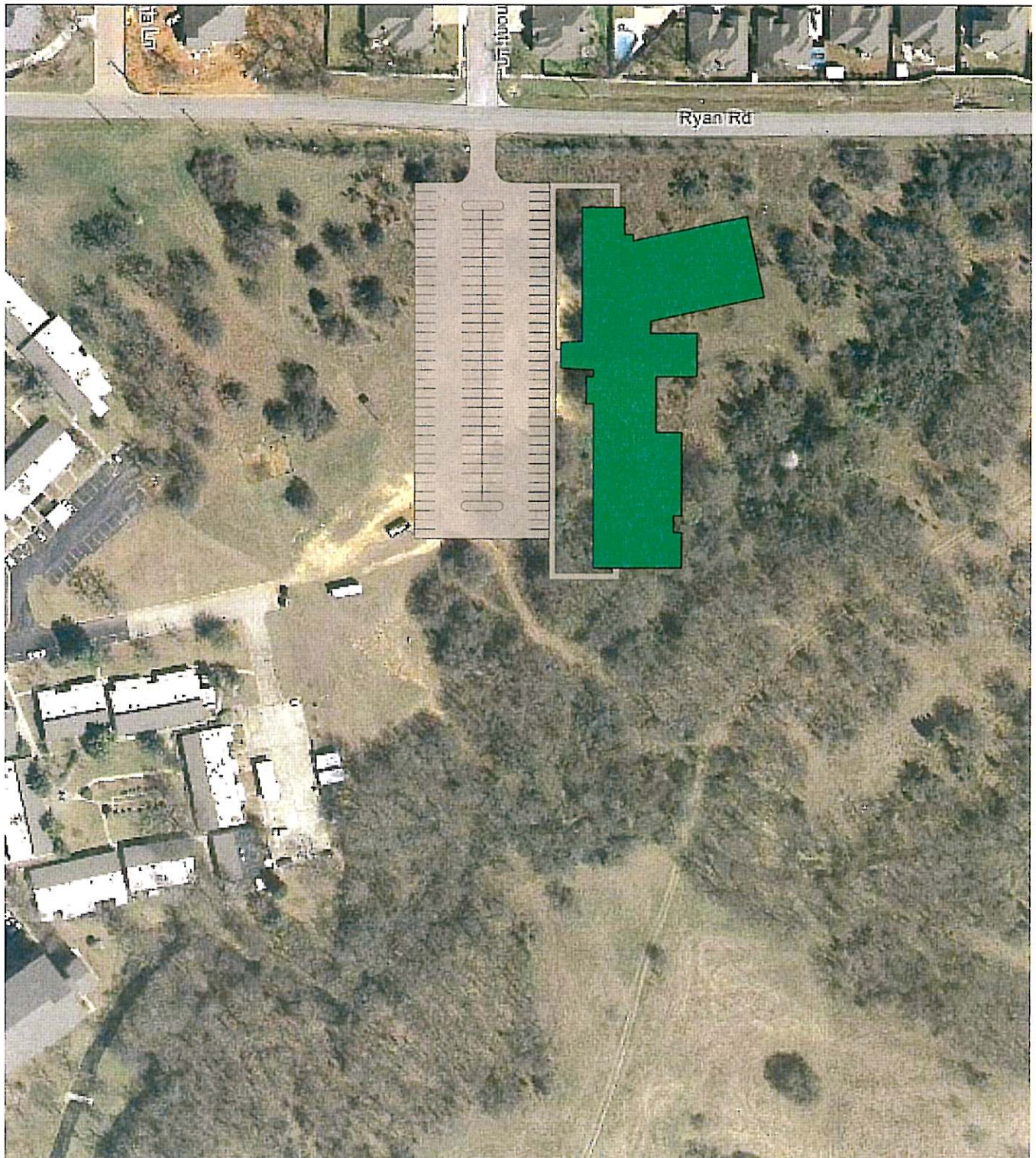
Site Study South Lakes Park



SITE PLAN
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Site Study North Lakes Park



SITE PLAN
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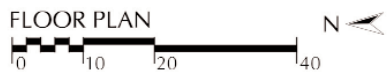
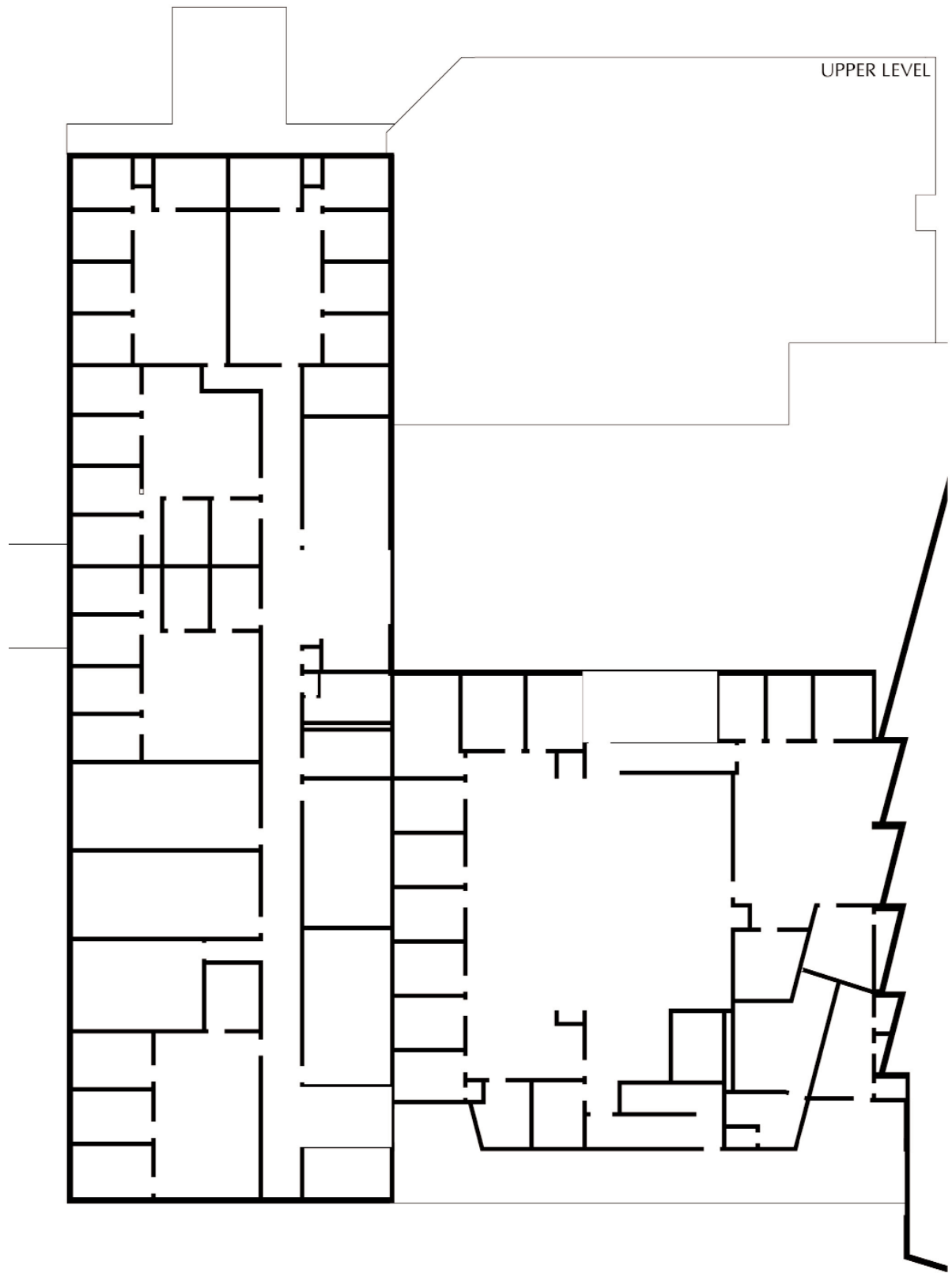
Site Study Lake Forest Park



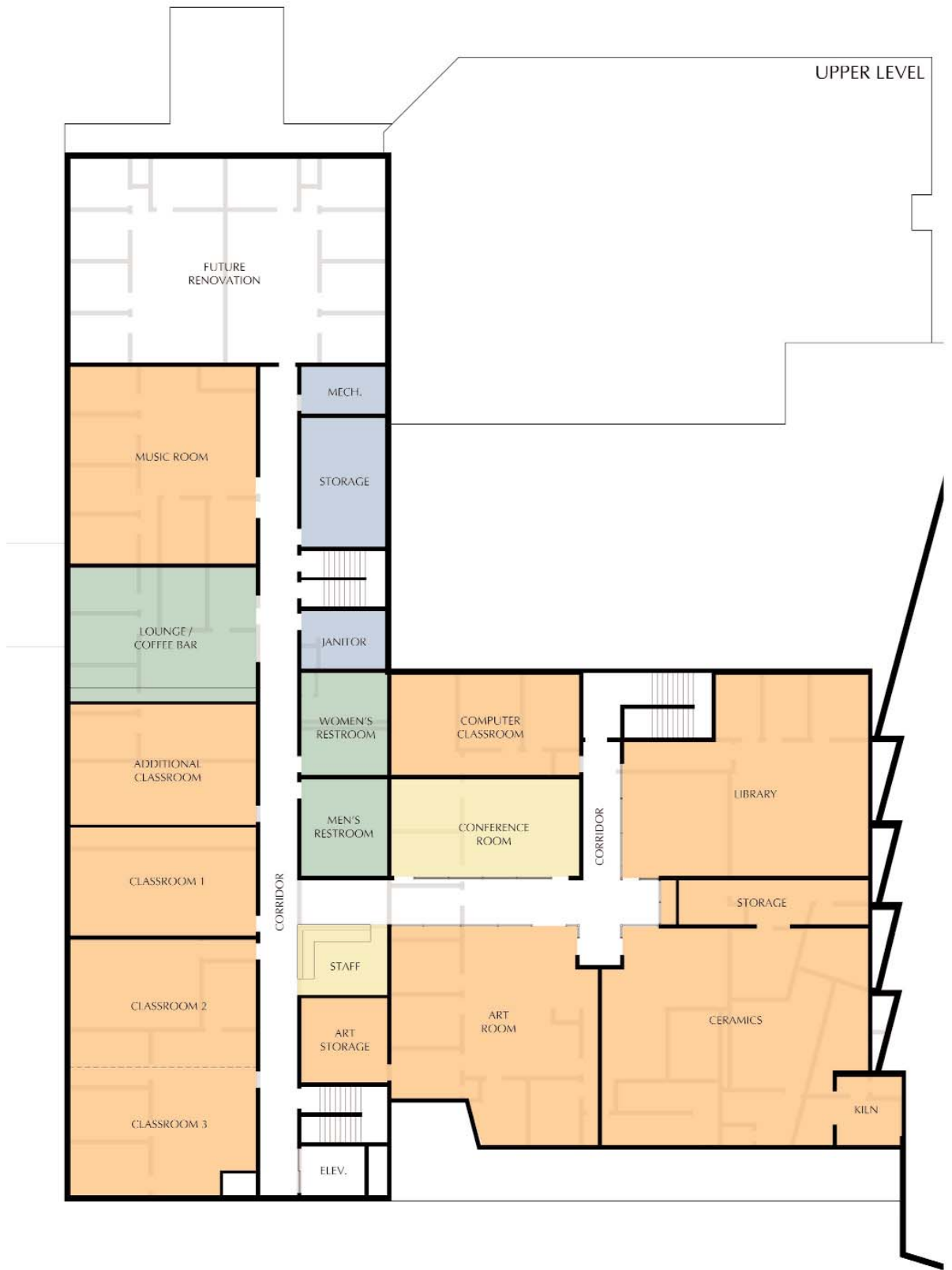
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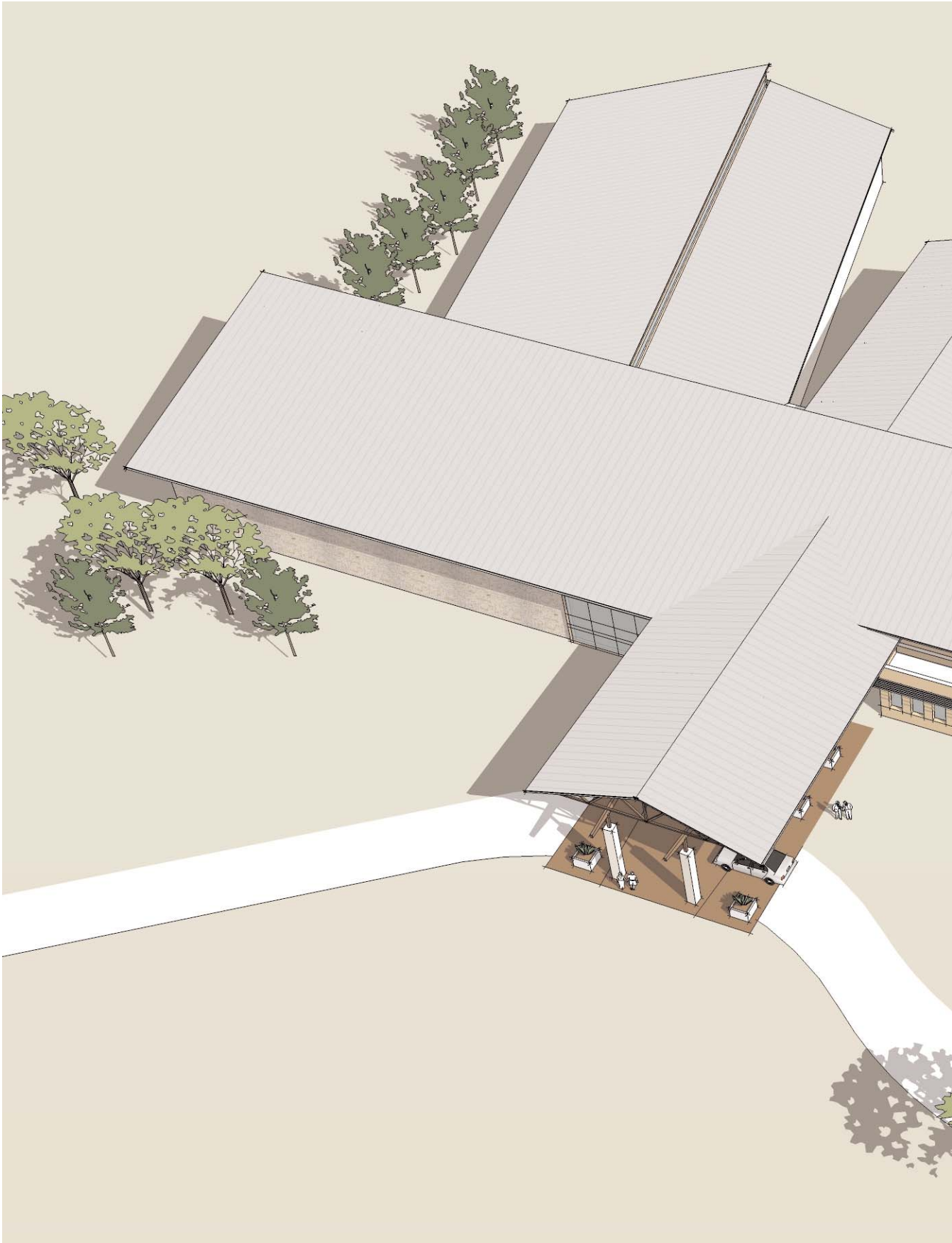
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NEW CONSTRUCTION
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**Conceptual Rendering of New Construction
Bond Program 2010**



**Conceptual Rendering of New Construction
Bond Program 2010**



**Conceptual Rendering of New Construction
Bond Program 2010**



**Conceptual Rendering of New Construction
Bond Program 2010**

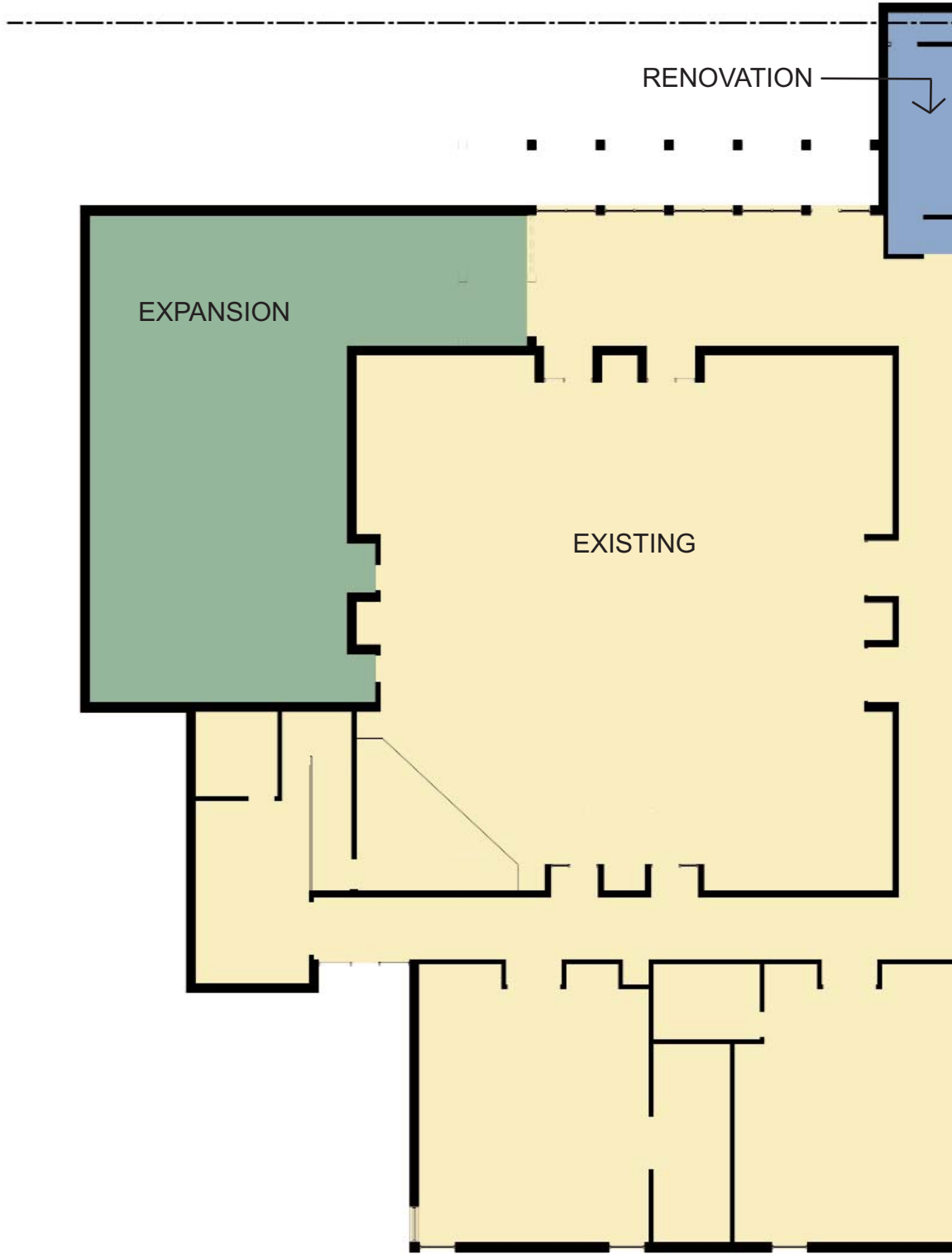


EXISTING SANITARY SEWER LINE

RENOVATION

EXPANSION

EXISTING



The following Budget Analysis and Phasing Schedule show concept budgeting and phasing for both the interim solution at the existing senior center and a long-term-solution involving new construction or renovating an existing building. The Budget Analysis shows construction cost increased by 30% for the owner's development cost including contingencies, furniture, separate contracts and professional services fees. All costs are shown in today's dollars.

The current funding available for renovation of the existing senior center is \$539,875. These Phase 1 funds are proposed to repave and slightly expand the existing parking lot. Design and documentation should begin immediately to allow the construction completion by next summer. Design and documentation of the existing senior center renovation should begin in the fall of 2007 allowing for the start of construction in summer 2008, when another \$1,305,000 of bonds are sold. Because the senior center will remain occupied during construction, a phased approach will complete in spring of 2009.

A long-term senior center solution involving either new construction or building renovation will require bond funding. If an existing building is purchased, a two year time period should be anticipated for design and construction. In the case of the First Baptist Church, they may be ready to sell the property by 2012 yielding potentially immediate occupancy in portions, while design and construction of Phase 1 could extend until 2014. Phase 2 is shown for a possible 2015 bond program with occupancy in 2017.

If tradition holds true for bond elections every five years, the next Denton bond election would be in 2010. The total budget for a new 37,500 square foot senior center and site amenities is projected at \$12,200,000. If bonds are sold in the beginning of the bond program, occupancy could be anticipated in 2012.



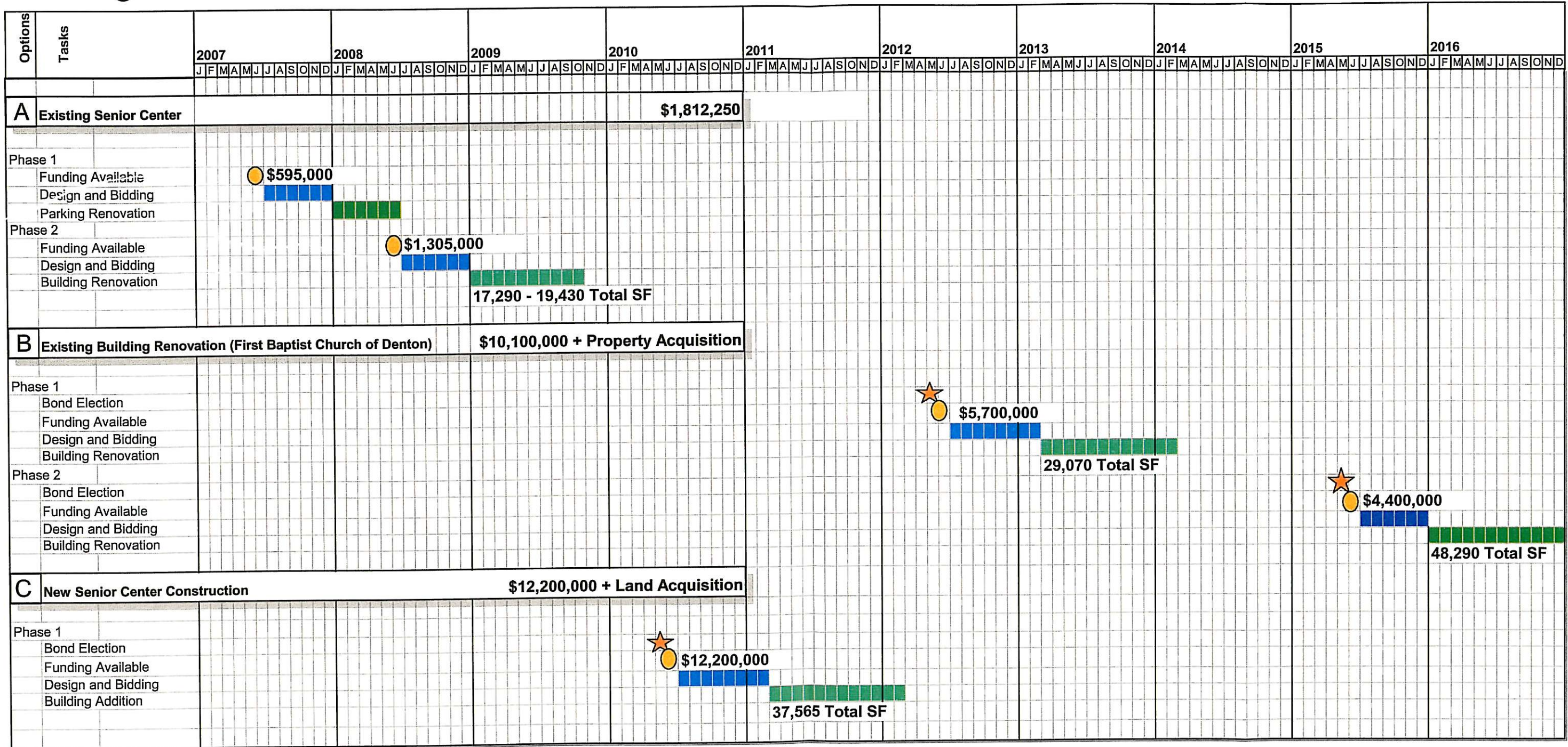
City of Denton Senior Center Feasibility Study					
October 16, 2007					
Project	Funding Available	Budget	Area (SF)	Const. Cost / SF	Const. Cost
A Denton Senior Center Renovation / Expansion					
Today's Dollars					
Option 1 (phase 1) Parking Renovation	2007	\$595,000			
Parking Renovation and Expansion (126 Existing Spaces)			44,100	\$7.25	\$319,875
Parking Renovation and Expansion (25 New Spaces)			12,000	\$10.00	\$120,000
Relocate Sanitary Sewer Line (if needed)			1	LS	\$100,000
			Total Area		\$539,875
Option 1 (phase 2) Building Renovation / Addition	2008	\$1,305,000			
Light Renovation			12,215	\$44	\$530,500
Moderate Renovation			4,215	\$125	\$526,875
Building Addition			860	\$250	\$215,000
			Total Area		\$1,272,375
Option 2 Building Renovation / Addition	2008	\$1,305,000			
Light Renovation			15,530	\$26	\$409,875
Moderate Renovation			900	\$125	\$112,500
Building Addition			3,000	\$250	\$750,000
			Total Area		\$1,272,375
Total Denton Senior Center		\$1,900,000	19,430		\$1,812,250
B Renovated Existing Building (First Baptist Church of Denton)					
Phase 1 Building Renovation / Addition (1st Floor)	2010	\$5,700,000			
Chapel Demolition	Bond		3,400	\$10	\$34,000
Moderate Renovation			10,370	\$100	\$1,037,000
Heavy Renovation			18,000	\$175	\$3,150,000
Building Lobby Addition			700	\$250	\$175,000
			Total Area		Total Phase 1 \$4,396,000
Phase 2 Building Renovation (2nd Floor)	2015	\$4,400,000			
Moderate Renovation	Bond		0	\$100	\$0
Heavy Renovation			19,220	\$175	\$3,363,500
			Total Area		Total Phase 2 \$3,363,500
Total First Baptist Church		\$10,100,000	48,290		\$7,759,500
C New Senior Center Construction					
Building Construction	2010	\$12,200,000			
New Construction Area	Bond		Total Area		
(including 135 Parking Spaces)			37,565	\$250	\$9,391,250
Total New Construction		\$12,200,000	37,565		\$9,391,250



City of Denton Senior Center Feasibility Study

October 16, 2007

Phasing Schedule



Existing Senior Center Condition Survey



Site Conditions

The Denton Senior Center is located within the Quakertown Park off Bell Street. Other municipal facilities in the park include the Civic Center, the Library, and the public pool. To the south of the Center is a drainage channel that is acknowledged on FEMA flood maps. The 100-year flood plain that restricts the locations of buildings is within 36 feet of the south side of the Wood Shop and Crafts Room. On the north side of the Center is a grove of mature trees that continue slightly beyond the municipal swimming pool. Behind the Center to the east is an amphitheater with concrete stage. Given these site restrictions, only a portion of land just north of the Senior Center will be available for expansion. This will require removal and replacement of some trees, along with relocation of a 15" sanitary sewer line that currently runs under the offices and restrooms.



Site Arrival and Parking

A single driveway provides access to the parking lot that is mainly to the left of the entry drive adjacent to the building. The parking has a natural one-way circulation and allows drop-off at a covered walkway leading to the main building entrance. Beyond the entrance the parking has an odd geometry conforming to the trees on site, but is relatively easy to navigate. If a parking space is not available, patrons can proceed to a second parking lot on the other side of the entry drive. In total there are 126 parking spaces that serve the Senior Center. Expansion of the parking area will be difficult, except for adding spaces within the trees north of the building.



Building Area

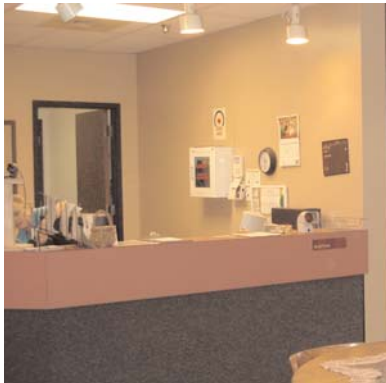
The Denton Senior Center was originally 5,450 square feet when constructed in 1977. A building addition completed in 1990 increased the building area to 16,400 SF.

Existing Senior Center Condition Survey



Original Building Functions

A covered walkway leads from the entry drive sidewalk to a vestibule with sliding glass doors and the front lobby. The lobby has no specific purpose, except as a social gathering area. Off to the left of the entry, a reception counter has good vision of the entry, but not much beyond. The Conference Room and Living Room are the only activity areas visible from the lobby. The Conference Room is widely used for senior programs and as a staff meeting room. The Living Room is used for a variety of activities, including card playing and watching movies on a large-screen television. The two other activity areas in this area are visually obscured from the lobby – the Game Area with billiard tables is behind a display cabinet and the Domino Room is windowless. The Kitchen in the Domino Room appears to be underutilized. A door past the reception desk leads to four offices and a small workroom that was actually constructed with the building addition described below. Although small, the office area appears functional, except for a needed larger Workroom. The original building restrooms serving the front half of the building are adequate in size, but do not conform to current accessibility codes.



Building Addition Functions

The building addition in 1990 added significant functions to the Senior Center including a 3,600 SF Multi-Purpose Room with moveable partitions, small stage and storage room, along with a Kitchen, Ceramics Room, Woodshop, Lounge, and large restrooms. Most rooms function relatively well today, except the lounge, small stage, and Kitchen. The stage should be at least twice as large and have ramp access from the main room. The Library area in the Lounge is very crowded with three different functions - fitness, bookshelves, and card playing. The Lounge, however, is one of the nicest rooms in the facility, because of the covered outdoor Veranda with open views to the park. The Ceramics Room has some south and western natural light, but could use more controlled light. The Woodshop is well equipped and has a very organized program. It does, however, cater to a relatively small number of patrons for the overall building area.



Existing Senior Center Condition Survey



The Kitchen is a narrow galley style with reach-in refrigerator, stove / oven, countertop sink, and pass-through window to the corridor. Connected to the Kitchen are separate Pantries and a Service Room with a commercial ice maker and door to the service drive. The space is adequate for the 60 lunches typically served at noon. However, there is no adjacent eating area other than the window-less Multi-Purpose Room across the corridor. The Senior Center is also available to the public for rentals. Although renters or their caterers can use the Kitchen, its overall small size is minimally adequate and staging often occurs in the corridors. The final function in this area is the Craft Store. A popular and well run operation, it sells crafts produced by the Senior Center patrons.

Architectural Interior Finishes Condition



The visual impression of the Senior Center is of a well-maintained facility in need of refurbishment. The front entry lobby, conference room and living room have been more recently refinished than the remaining building. Overall, the architectural finishes are from a neutral palette without any accents or character. Most walls are painted white gypsum board. Most of the ceilings are suspended acoustic tile with fluorescent lighting. Ceiling heights vary from a typical 9 to 10 feet, but the roof is raised and allows higher ceilings in the Billiards Room, Domino Hall, Ceramics Room and Woodshop. The Multi-Purpose Room has the highest ceiling at approximately 25 feet. Flooring is typically either carpet or vinyl composition tile (VCT). The Multi-Purpose Rooms have wood parquet floors.



A goal for a building renovation and expansion should include upgrading the interior finishes to create a more distinctive character. This character should have more residential or hospitality appeal and appear less institutional. Techniques to accomplish this goal may include better quality and varied lighting, accent wall materials and colors, and patterned floor covering.

Existing Senior Center Condition Survey



Roof Condition

The Senior Center roof has seven sections separated by parapets and curbs with at least four different elevations. Overall the roof is in excellent condition and well maintained by City staff. The current roof is a modified bitumen membrane that was installed in 1989. The membrane surface, parapet copings and flashings appear in good to excellent condition. City staff provides required maintenance and also works with a roofing consultant, Aramko. The higher portions of the roof generally drain to the lower section via scuppers and downspouts. The lower roof areas have roof drains and piping internal to the building. The only drainage issues noticed were leaves collected along the parapets and standing water on the raised roof section over the Domino Hall and Game Area. It appears that the scuppers are too high for adequate drainage of this area onto the lower roof over the entry and Living Room. One code issue is that condensate from the mechanical roof-top units drain into the roof drains and storm sewer, in lieu of the sanitary sewer.



This roof should be adequate to last another 10 to 15 years with proper maintenance. A building renovation and expansion should only require roof work associated with mechanical and plumbing renovations should as roof curbs and plumbing vents. The building expansion roof membrane should match the existing roof for ease of maintenance.



Existing Senior Center Condition Survey



Site Utilities

The Senior Center is served with domestic and fire water, sanitary sewer, and natural gas service. Water service is from Bell Street. Domestic water enters the building through the original building restrooms. A four inch fire water riser is in a closet inside a storage room behind the reception desk. The 15" sanitary sewer actually runs under the four offices and building addition restrooms on the north side of the building. A double clean-out is located west of the newer restrooms. Another double-cleanout is east of the original restrooms and the sanitary sewer routing is unknown. Natural gas service is from the Civic Center to the south. Two gas risers extend up to the roof on the outside of the original restrooms.

While this issue is still being discussed, at some point the city will most likely be required to relocate the sanitary sewer line to run north of the facility and connect back into the main line running across N. Bell Avenue. Adequate capacities of domestic and fire water and natural gas for a building addition should be verified.

Existing Senior Center Structural Report

Existing Senior Center

The building addition to the existing Senior Citizens Center would likely occur at the northwest corner of the existing building. Therefore, we focused most of our time reviewing the existing structure in this area of the building. In addition, contract documents were available for our review:

Based on our visual review of the building and review of the existing documents, the construction of the original building consists of a narrow rib metal deck supported by open web steel joists at five to six feet on center. The joists are supported by steel wide flange beams which are in turn supported by steel tube columns extending to the foundation. The foundation is basically continuous footings bearing on a compacted fill or undisturbed soil; there are no deep foundations on this portion of the building. The building addition in 1989 used similar construction for the superstructure. The roof system consisted of an intermediate rib metal deck supported by open web steel joists spaced at five to six feet on center. The joist span between steel wide flange beams which are in turn supported by steel tube columns. The foundation system used on the addition utilized 18" diameter straight shaft piers bearing on a gray limestone stratum approximately nineteen feet below existing grade to support column loads. In general, the slab construction consisted of a 4" slab on grade, with the exception of the sixteen foot building addition along the north wall of the existing building. The drawings indicate a storm drain runs parallel to the wall in this location; a structural one-way slab over 4" carton forms supported by beams over 4" carton forms was used in this area. In addition, there was no expansion joint between the original building and the building addition at the floor level; however, the contract drawings did indicate an expansion joint at the roof level and walls between the original building and the building addition.

No evidence of any issues with the primary structural elements was discovered during our visual review of the buildings. We did note a crack in the mortar joint at the window sill at the northeast corner of the building. In addition, the grade generally slopes from the northwest to the southeast and slopes toward the building along the north wall; there are water stains on the brick along the bottom of the wall along the full length of the north wall. There is a covered porch that wraps around the building at the northwest corner of the building addition. A flower bed has been planted in this area and visually it appears the soil is washed out beneath the adjacent sidewalk, which would typically be site work. However, review of the contract documents indicates there is a two feet deep grade located one foot back from the edge of the sidewalk that

Existing Senior Center Structural Report

allows the slab to cantilever out above grade; therefore, this is not a structural problem.

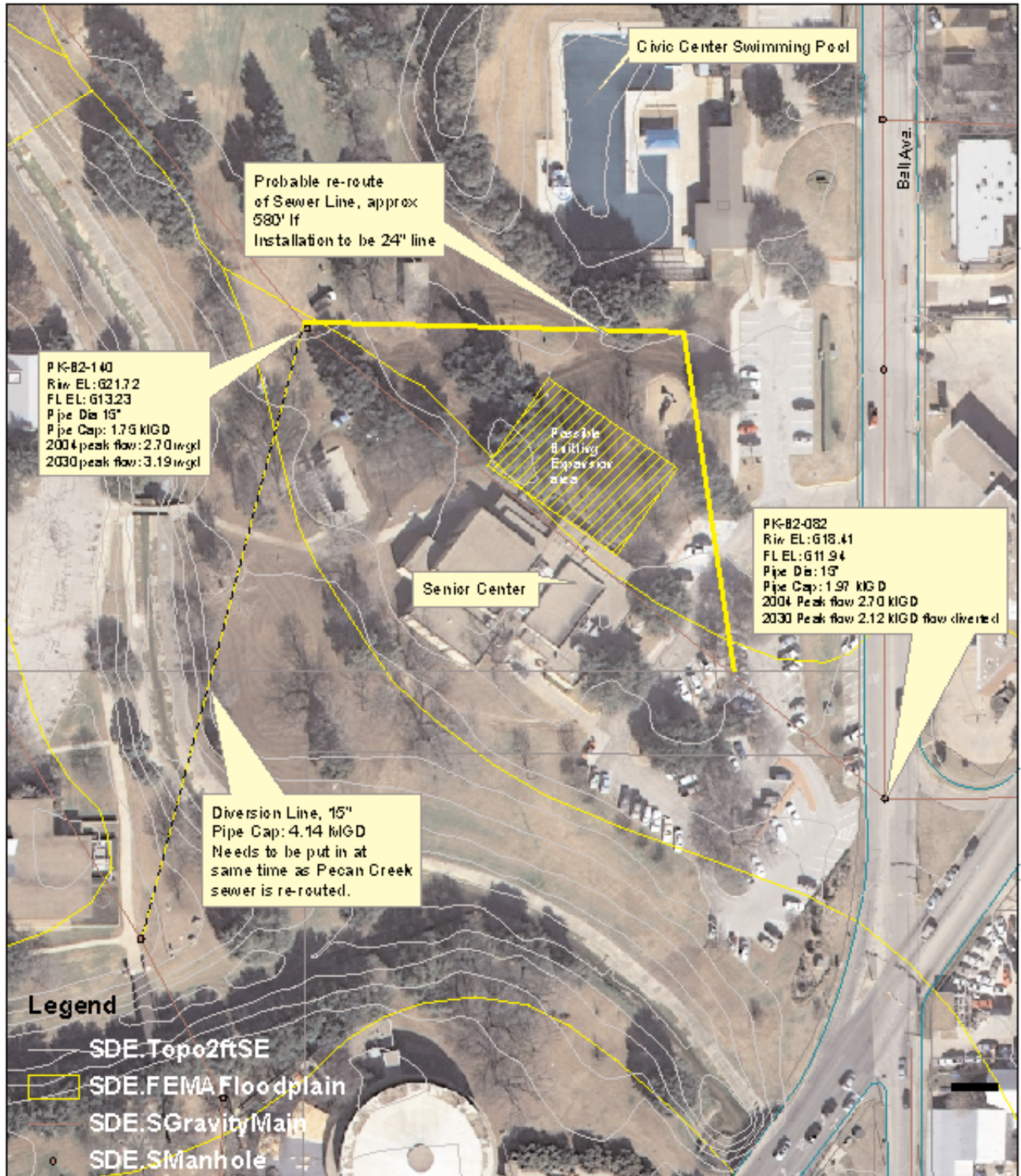
Based on our visual review and review of the contract documents, it is our opinion there are no current problems with the building structure. The crack in the brick at the northeast corner can be cosmetically repaired. The grading along the north side of the building including the planter area should be addressed to create a positive slope away from the building; ponding water adjacent to a building foundation can lead to increased moisture in the soils beneath the building and cause building movement and damage to interior walls. As previously noted, the planned addition would likely be at the northwest corner of the facility. The grading issue would need to be addressed and/or the building addition would need to be raised to a higher elevation than the existing building. We would recommend the porch area be demolished at that time to allow the new structure to be located adjacent to the primary building structure. We would recommend a building expansion joint be installed between the current building and the new building addition.

The scope of our report is limited to the specific items addressed above. Further, the conclusions reached are based on conditions observed at the time of my observation. No guarantee or warranty as to future life, performance, or need for repair of any item observed is intended or implied.

Prepared by:

TMBP Consulting Engineers, Inc.
Jerry L. Barnett, P.E.

Senior Center Addition Possibility Required Sewer Line re-route if building addition constructed



Denton Senior Center FEMA Flood Zones



Existing Senior Center MEP Report

Existing Systems Description

The HVAC system generally consists of packaged air cooled rooftop air conditioning units serving individual zones in both heating and cooling. These units are a mix of Carrier in the original building and Trane in the addition, using refrigerant R-22 for cooling and natural gas for heating. According to the operating personnel, these systems are operating satisfactorily. There is, however, a plan to replace all the Carrier units (3 total) serving the original building during this year.

The existing addition, which comprises primarily of the Multi-purpose Room and classrooms, are served by Trane units that are in good operating condition. Therefore, there are no plans of renovating or replacing them.

Proposed Expansion

Heating, Ventilation, and Air Conditioning: The proposed expansion will be located NW of the facility, adjacent to the existing Multi-purpose Room. It is estimated that at least two high efficiency rooftop air conditioning units would be required. Both units will be designed for a minimum of 13 SEER, will be provided with an economizer cycle feature, will use the new refrigerant R-410A for cooling and natural gas for heating.

Gas: The existing gas meter is located SE of the facility. The existing rooftop units are now being served with two (2) separate lines from this meter. The line serving the 1979 units is noted to be provided with galvanized piping. This piping is not an acceptable material for natural gas and is therefore recommended to be replaced with the units. The proposed expansion will be served by a new line from the meter and will be routed above the existing roof. The meter size will be verified with the utility company if it can still handle the additional load.

Water: The existing water meter is located at the nearby street NE of the building. A 2" cold water line is routed underground diagonally to the SE corner of the building and horizontally in the west direction, up in the kitchen and to the restrooms at the north end of the building, where the expansion will be situated. It is felt that any water requirement for the expansion could be handled by extending this 2" line from the existing restrooms.

This will be verified, however, in the final phase of the design.

Sanitary: A 4" sanitary line serves the restrooms along the north side of

Existing Senior Center MEP Report

the building towards a manhole at the NE corner. Depending on the elevation that this existing starts, it is possible to extend this 4" line to the proposed expansion. It is most likely that the proposed sanitary system will have enough fall to be connected to this existing because the expansion will be at a higher elevation than the existing. This will have to field verified during design.

Storm: An 8" storm runs underground towards the south along the west side of the building. This line is just sufficient for the roof drains from the 1989 addition. A new 8" line will be required to handle the proposed expansion. This line will be routed alongside the existing 8" storm to the main storm line which will be verified during the design.

Controls: The existing facility is now being served by an "Enviromatic" building management system (BMS). The operating personnel is satisfied with it. The new control system for the proposed expansion will therefore be interfaced to this BMS.

Electrical:

The existing electrical service to the building is provided through a pad-mounted 120/208V, three phase transformer located at the North side of the building. The main panel for the building is located in the first floor electrical room directly adjacent to the multi-purpose hall. The existing main switchboard is already fully utilized physically and therefore does not have the capability to serve the proposed expansion. A new service will have to be provided from the transformer to a new switchboard which will be located in an electrical room in the proposed expansion. The existing switchboard will then be subfed from this new switchboard. This needs to be evaluated in the phasing process.

Prepared by:
Basharkhah Engineering, Inc.
Henry Q. Santos, P.E.

Existing Senior Center Conditions Photos



Existing front entry canopy



Front elevation detail



Existing garden and trellis



North elevation / Administration area



South elevation / Woodshop



Existing service drive and entry

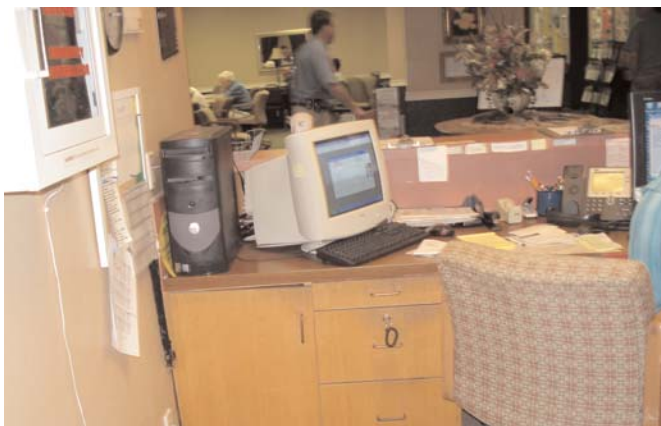
Existing Senior Center Conditions Photos



Interior entry; Vestibule / Conference Room



Reception Desk



Reception view



Living / Card Playing Area



Billiards Room / Pool tables



Reception / Admin. Area

Existing Senior Center Conditions Photos



Kitchen at domino playing area



Kitchen at domino playing room



Entry door to Domino room



Domino Room



Restrooms / finishes



Men's Restroom

Existing Senior Center Conditions Photos



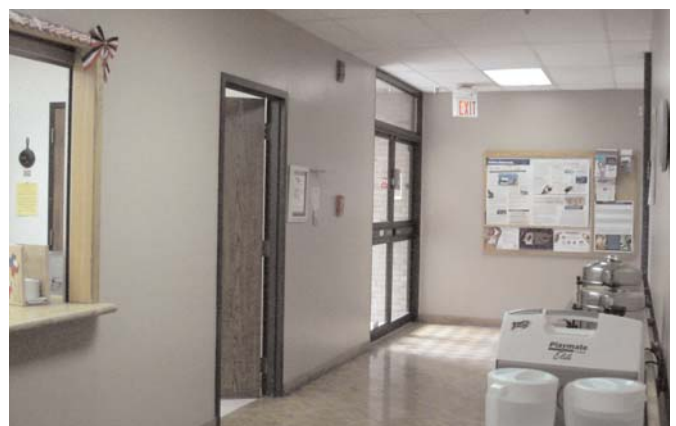
Existing Stage at Multi-purpose Room



Entry portal at Multi-purpose Room



Movable partition system at Multi-purpose



Corridor at Kitchen / Service Entry



Kitchen



Commercial Appliances at Kitchen

First Baptist Church Condition Survey



Site Conditions

The First Baptist Church of Denton is located on 1100 Malone Street off Cordell Street and Bryan Street. To the North of the Church is Rayzor Elementary School and east of the Church is Denton High School. The rest of the site is surrounded by single family homes. Southeast of the facility is the Church's Life Center. Just south of the Life Center are two portable buildings. There are a row of street trees along Malone Street and a few mature trees just north and east of the Church and more just east of the Life Center.

Site Arrival and Parking

The First Baptist Church maybe accessed from Malone Street, Cordell Street, and Bryan Street. Parking surrounds the Church Facility and the Life Center on all sides, providing a total of 630 spaces. The majority of handicapped parking is available along Malone Street and just north of the Children's Education wing. Because there are so many parking spaces today, it would be feasible to demolish some in order to establish a more visible entry point and / or garden area.



Building Area

The First Baptist Church has been renovated and added onto many times. The original sanctuary was constructed in 1967. Afterwards the Cindy Nichols Chapel was constructed to the north. The Children's Education wing and Fellowship Hall was added to the sanctuary in 1993. The total building area of the First Baptist Church today is 90,750 square feet. The Life Center was also built in 1975 with a total of 20,800 SF. The square footage of these two buildings are more than sufficient for the needs of a Senior Center. If the Senior Center was to move in, there would be approximately 50,000 square feet of additional space for another function.



First Baptist Church Condition Survey**Building Functions**

The main entrance faces Malone Street. Upon entering through the large doors and going through the vestibule there is a large corridor that functions as a lobby. Off the lobby are two access points into the main sanctuary. The sanctuary has a sloped floor with a stage and choir area behind the pulpit. There is also balcony seating within the two story space. To the north of the Sanctuary is the Children's Education wing and Fellowship Hall. The Fellowship Hall has a kitchen, a small stage and the large space can be divided into six smaller rooms. The Children's Education wing to the north and east of the Fellowship Hall runs along the length of double corridors. The first floor contains mostly nursery areas for small children and immediately above them are more classes for older children, grades one through five. There is also a large Youth Hall for teens on the second story just east of the Fellowship Hall and a small chapel connected to the north wing. The Cindy Nichols Chapel was built in the mid 1960's. The Fellowship Hall and Children's Education wing, built in 1993, connected the chapel to the rest of the facility.

To the South of the Sanctuary is another wing. From the main Lobby there is a glass enclosed corridor that looks out onto the enclosed courtyard and leads to the Sunday School Classrooms, both on the first and second level. The Administration Offices are also on that wing just south on the Sanctuary stage and Choir Practice Room. Overall the facility offers plenty of square footage but does not currently comply with accessibility or mechanical codes.

Architectural Interior Finishes Condition

Since this facility has been added onto and renovated many times, the overall interior finishes vary substantially. Overall the architectural finishes throughout the Church Facility and Life Center are from a neutral palette with various shades of blue as accents. Most of the walls are painted CMU or gypsum board. The majority of the ceilings are 2' x 4' suspended acoustical tile with florescent lighting. Classroom ceiling heights average 9 to 10 feet. The Sanctuary, Youth Hall, and Fellowship Hall have much higher ceilings ranging from approximately 15 to 30 tall. The floorings are typically either low pile carpet or vinyl composition tile (VCT).

First Baptist Church Condition Survey

The interior finishes are different in the Sanctuary, Fellowship Hall, Restrooms, and Chapel. The Sanctuary has a sloping floor with birch colored pews. The angled brick walls and angled acoustic ceilings provide good acoustics for patrons. The lush green carpet runs throughout the room and onto the stage and choir area. A stained glass window provides some light behind the baptismal along with incandescent and colored stage lighting. The Fellowship Hall consists of mauve colored partition panels that can open or divide the room. The flowered pattern low pile carpet runs throughout the hall with a teal blue rubber base following the exterior walls. There are a few windows on the far east wall but if the room is divided up no natural daylight is available, all of the Church's restrooms are all too small to meet today's accessibility codes. Each is consistent in its overall color palette. The flooring and walls are made of small format (2" x 2") yellow ceramic tile. The restroom stalls are made of green marble looking plastic laminate. The toilets are all floor mounted and the lavatories are wall mounted with mirrors behind.

The Cindy Nichols Chapel is very different from the rest of the facility. The interior walls are made of exposed brick with narrow vertical stained glass windows. The ceilings features the angled wood beams and wood panels. The floor is made of glazed quarry tile with built-in wood pews and behind the small stage and pulpit is a large floor to ceiling stained glass window.

Lastly, the Life Center's gymnasium has a basketball flooring with a tall padded carpet wainscot. There are also large acoustical panels lining the upper portion of the gym. The Gym's locker and shower facilities do not meet current accessibility codes but could be renovated to do so. The restrooms have small format (2" x 2") blue ceramic tile floors and walls with shared communal showers in the mens and individual showers in the women's. Between the two restrooms is a dry sauna that is no longer used.

First Baptist Church Condition Survey**Roof Condition**

The First Baptist Church roof has many sections separated by parapets, curbs and walls. There are also several roof elevation heights. The main roofing material is modified bitumen membrane, some with a gravel base and some without it. While there was some evidence of ponding, the roof overall seems to be functionally properly.

Site Utilities

The First Baptist Church is served with domestic and fire water, sanitary sewer, and natural gas service. The boiler room in the basement beneath the sanctuary houses both the electrical panels and the boiler. There is also a mechanical yard housing two large cooling towers east of the Administration Offices. The fire sprinkler system is only installed on the North Wing of the facility.

While the mechanical system is adequate to supply the facility, renovating the Church would require the mechanical system to be updated to conform with current codes and standards. Adequate capacities of domestic and fire water and natural gas should be verified before renovation.

First Baptist Church Structural Report

The original building constructed at this complex were constructed in 1967 included the Sanctuary, the Adult Wing to the south and the Children's Education Wing to the north. There were several building additions over the years which included the West Addition which in-filled the courtyard between the Sanctuary and Children's Education Wing to the north and a Chapel added to the north of the Children's Education Wing and attached with an enclosed walkway. The Life Center building which includes a gymnasium, locker rooms and recreation rooms was constructed to the east of the primary complex. There were no construction drawings available on the original building or building additions. Therefore, our review of the structure is based solely on our visual review.

The construction of the Sanctuary was primarily steel framing. We were able to view the roof framing from the catwalk system above the ceiling space near the rear of the Sanctuary. The roof system consists of a narrow rib metal deck supported by open web steel joists spanning between open web steel joist girders. The joist girders span across the width of the Sanctuary and are supported by steel wide flange columns. The perimeter walls were concrete masonry units with a brick veneer. The Children's Education Wing to the north and the Adult Wing to the south constructed with the Sanctuary were a combination of one and two story structures. The construction of the two wings used load-bearing concrete masonry units for the walls which supported the 2nd floor and roof systems. The load-bearing walls generally were the east to west walls of the building with the floor and roof systems spanning in a north to south direction. Exterior walls and one of the interior corridor walls were used to support the floor and roof framing. The additional walls at the corridor and north-south walls were non-load bearing but did extend to the floor or roof deck. It should be noted they could not be removed at the 1st floor if there is a masonry wall above at the second floor, since the steel joist framing at the second floor may not be designed to support the weight of a masonry wall above the 2nd floor. The roof system consisted of a narrow rib metal deck supported by open web steel joists at a spacing of five foot on centers. The 2nd floor system consisted of a concrete slab over non-composite steel form deck supported by open web steel joists at two foot on centers.

First Baptist Church Structural Report



The west addition which in-filled the courtyard was a two story steel structure. The roof system consist of an intermediate rib metal deck supported by open-web steel joist at five foot on centers and the floor system consists of a concrete slab over non-composite steel form deck supported by open web steel joists at two foot on centers. The roof and floor joists are supported by steel wide flange beams which are supported by steel columns to the foundation.

The Fellowship Hall addition at the east side of the building appeared to be a combination of a load-bearing concrete masonry wall at the east side of the building and steel wide flange column at the interior. The roof system consists of a wide rib metal deck supported by longspan open web steel joists spaced at six foot on centers, which are supported by the cmu masonry wall at the east side of the building and steel wide flange beams spanning between the columns at the interior of the building.



The Life Center building is a concrete structure with a partial second floor mezzanine above the low roof area that serves as a mechanical room. There are two roof levels, with the higher roof area above the gymnasium area. The roof system consists of pre-cast concrete double tees supported by concrete tilt-wall panels around the perimeter of the gymnasium and low roof area. There are concrete double tees supported by structural steel beams at portions of the low roof area. It appeared that the concrete masonry walls in this building were non load-bearing.



As previously noted, there were no construction documents available for the buildings at this site. However, it is our opinion the foundation slab is generally a slab on grade. There was no evidence of a crawl space and some of the building movement we noted in the classroom wings is generally caused by settlement or heave of the sub-grade beneath a slab on grade. There could be a structural slab over carton forms in portions of the building, but that cannot be determined by only a visual observation. Because of the loading associated with the large spans in the Auditorium, the two-story structures at the classroom wings, and the concrete framing at the Life Center, we would anticipate that a deep

First Baptist Church Structural Report

foundation system using drilled straight shaft piers was used for foundation support of the primary load bearing elements.

In general, the buildings are in good shape and have been well maintained. There were several areas that exhibited slab or foundation movement. Concrete masonry unit partition walls near the southwest corner of the Adult Wing had stair stepped cracks through the masonry walls indicating movement of the slab. The personnel at the site stated that this area had been previously reviewed by an engineer who indicated that indicated movement may be associated with loss of moisture due to the proximity of trees adjacent to the building which was altering the moisture content of the soil and causing the slab to settle. We also noticed a horizontal crack in the exterior brick veneer near the top of the wall at the southeast corner of the Auditorium building. There was an indication of slab movement in the corridor along the west side of the Chapel which had resulted in broken floor tiles. Finally, we noticed fairly extensive rusting on the bottom of the 2nd floor steel deck at the Adult Wing and Children's Education Wing in the areas we reviewed. The damage to the walls due to slab on grade movement is fairly isolated but will likely be an on-going maintenance issue. There are measures that could be taken to reduce or eliminate movement due soil heave or settlement, but it may be more economical to repair the walls at this time since the movement is relatively isolated, consisting of a few walls. The rusting of the metal deck should not affect the load carrying capacity of the concrete slab so long as it was properly reinforced.

The scope of our report is limited to the specific items addressed above. Further, the conclusions reached are based on conditions observed at the time of my observation. No guarantee or warranty as to future life, performance, or need for repair of any item observed is intended or implied.

Prepared by:

TMBP Consulting Engineers, Inc.
Jerry L. Barnett, P.E.

First Baptist Church MEP Report**Purpose**

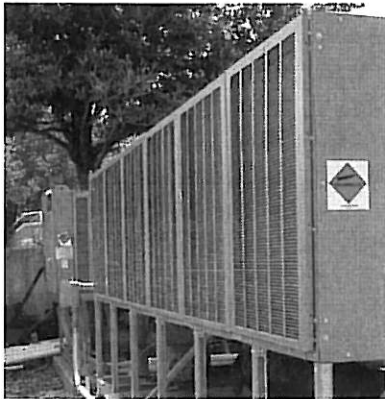
It is the purpose of this report, to the best knowledge of the reporter, to inform the prospective buyer of this facility as to extent and nature of the existing mechanical, electrical and plumbing (MEP) equipment and utilities for the buyer to use in conjunction with the other pertinent factors that will affect his decision.

Existing Mechanical, Electrical and Plumbing (MEP)

Heating, Ventilation, Air Conditions: Except for a few isolated split DX systems for off-hours operation, the entire facility is cooled and heated from a central plant with two (2) grade-mounted packaged air cooled chillers and one (1) gas-fired steam boiler. Chilled water and hot water are piped throughout the facility with a 4-pipe distribution system. The air cooled chillers are located on a concrete pad adjacent to and NE of the main building, The pumps, heat exchangers and the boiler are located in the basement underneath the Sanctuary. The piping for the Life Center, which is also located NE of the main building across a roadway, is routed underground and brought to the mezzanine where air handling units are located.

The air cooled chillers are relatively new (2003 and 2004). These replaced the original water cooled chillers located in the basement, including the cooling tower. The boiler, according to the operating personnel, had also been replaced in the past few months. The air handling units, which appeared to be in good operating condition, could not be closely inspected as to whether they have the capability of economizer operation or not.

The air distribution system appeared to be working satisfactorily, although some zoning problems may be possible in the classroom areas where a single zone unit is serving several rooms. According to the operating personnel, they do not have a problem of cooling the rooms, but they do have a problem of keeping some zones warm in summer, which only indicates that there is still a problem of improper zoning. Multizone air handling units are used in the recreation building. Apparently, no VAV system is being used.



Because the majority of the chilled water and the hot water piping system is concealed, its condition could not fully be determined. However, the piping in the central plant, since it is exposed, could be inspected and its condition evaluated. A chilled water pump is leaking and some pipe insulations are frayed. Renovation work in the piping and insulation in the central plant will, therefore, be required.

Miscellaneous Utilities

Other utilities, such as electrical, controls, gas, water, sanitary and storm drains are assumed to be still in satisfactory working condition and may require only minor maintenance work.

Analysis and Conclusions

In the absence of more elaborate forms of measurement and evaluation, the following determination should be used only as a guide and should not be used as the determining factor in making a final conclusive decision.

Based on the foregoing observations the existing MEP for the above facility could be considered in a fairly good operating condition, requiring minor maintenance work in the central plant, and is estimated to have a useful life of from 10 to 15 years. And depending on the proposed use of the facility, the amount of additional MEP investment may vary from a few thousand to several thousand dollars.

Prepared by:

Basharkhah Engineering, Inc.
Henry Q. Santos, P.E.

First Baptist Church Conditions Photos



First Baptist Church - Denton



North educational wing



Cindy Nichols Chapel



North Elevation / Children's play area



East Entry / Education & Fellowship Hall



Covered Canopy @ Fellowship Hall

First Baptist Church Conditions



Stage @ Fellowship Hall



Entry doors @ Fellowship Hall



Movable partitions @ Fellowship Hall



Movable partitions w/ structural columns



Commercial kitchen / prep area

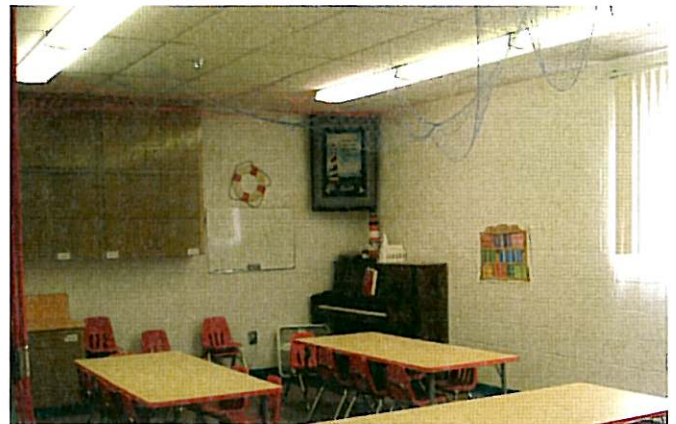


Commercial kitchen / 3 comp. sink

First Baptist Church Conditions Photos



Corridor @ Children's Education wing



Typical classroom



Classroom w/ additional break-out rooms



Classroom w/ break-out rooms



Typical Men's Restroom



Typical Women's Restroom

First Baptist Church Conditions Photos



Corridor connection to Sanctuary



Grade change at exit doors



Corridor connection to Sanctuary



Corridor connection to Sanctuary / Detail



Typical stair / CMU walls



Corridor @ Chapel

BROWN REYNOLDS WATFORD



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MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
Kick-Off Meeting
DATE: April 18, 2007
LOCATION: BRW Architects, Inc.

ATTENDEES:	REPRESENTING:	EMAIL:
Bob Tickner	Denton Parks and Rec.	robert.tickner@cityofdenton.com
Jeff Gilbert	Denton Senior Center	jeff.gilbert@cityofdenton.com
Emerson Vorel	Denton Parks and Rec.	emvorel@cityofdenton.com
Nancy Franke	Denton Senior Center	nancy.franke@cityofdenton.com
Amanda Green	Denton Parks and Rec.	aagreen@cityofdenton.com
Craig Reynolds	BRW Architects, Inc.	creynolds@brwarch.com
Gary DeVries	BRW Architects, Inc.	gdevries@brwarch.com
Doug Hankins	BRW Architects, Inc.	dhankins@brwarch.com
Beth Brant	BRW Architects, Inc.	bbrant@brwarch.com

Discussion:

1. Craig Reynolds began the meeting by greeting everyone and stating that BRW is excited to work on this project.
2. Gary DeVries explained BRW's project roles then briefly reviewed the tentative project schedule. The following items were discussed:
 - Bob has given BRW some existing drawings. BRW will go out to survey the existing buildings in the next two weeks.
 - It is desired that the team set time and date for the community meetings soon. (see item 11 below). The first community meeting will focus on programs and activities. The second community meeting will focus on development options.

- The main focus of today's meeting was a "visioning session" in which people are welcome to express their overall vision and ideas about the future senior center.
 - The next meeting shall be for programming. The team may want to invite a few more people to attend that meeting. After the programming meeting, BRW will work to create square footage recommendations. From there, the team will generate a fit study and blocking diagrams, followed by cost estimating and phasing.
3. Jeff Gilbert and Emerson Vorel informed the team that there are two senior citizen facilities. One at 509 N. Bell and the other one is located within the former American Legion Hall.
 4. BRW received a floor plan of the existing Denton Senior Center. Bob shall attempt to locate structural, mechanical, and electrical drawings of the facility as well.
 5. BRW has received a floor plan of the First Baptist Church. Bob shall attempt to locate a dimensioned plan, structural, mechanical, and electrical drawings as well.
 6. Bob Tickner stated there are three possible parks sites for BRW to investigate for construction of a new Senior Center.
 7. The Senior Center currently has a 15 passenger van, which they use for group trips, but not daily pick-up and return to patron's homes. Most members drive to their facility in their personal car.
 8. Gary DeVries facilitated the "visioning session" - the following items were discussed:
 - The Parks and Recreation team has visited several other local senior centers, including Irving, McKinney, Frisco, Farmer's Branch and Carrollton.
 - Jeff Gilbert didn't like the layout of the Carrollton Senior Center because the open plan didn't provide a sense of intimacy.
 - Amanda Green and the Senior Center members renovated the interior on their own to create a more home like atmosphere.
 - The Senior Center rents out portions of the facility to generate revenue and to provide a service to the community.
 - The team desires a multi-purpose room with a larger stage, sound absorptive partitions and integrated PA system.
 - The current kitchen was designed to be used for caterers, but that is only taken advantage of approximately 50% of the time. A snack bar type set up might be more appropriate for its everyday users.
 - The current computer lab has four computers, but as the next generation retires, more may use laptop computers requiring a wireless network.
 - Gary DeVries requested that the team prioritize the center's programs and services. Fitness is a main program that needs to expand.
 - The dance and music programs are also very popular.

- The Multi-purpose room is used fore special events such as dances and dinners.
 - Security is a major dilemma for the current center because the staff has no visual access from the desk into the back rooms.
 - The billiards room does not receive a lot of use and may be served better as a game room.
 - Keeping the carpet and other flooring clean is currently a difficult task because of the selected materials.
 - The library is also a very important program. All of the books are donated, anyone may take books as the please. There is not a check out system, but there is a bucket in which people may return books when they are finished with them.
 - The Senior Center has an intergenerational program in which youth and seniors can interact together through writing, art, field trips, etc.
 - The Crafts Room is used a lot for programs such as drawing, ceramics, pottery, language classes and watercolor.
 - Some new programs that are desired include:
 - A lecture series
 - Additional language classes
 - Nutrition classes
9. Lastly, the team discussed the existing and future bond programs in which additional funding may be requested should the results from the Denton Senior Center study lead to a future building or renovation project.
10. The next Programming Meeting shall be at 1:30pm on Thursday May 24th in the Denton Senior Center.
11. The first of two Community Meetings was set for 6:30pm on Thursday May 31st in the Denton Senior Center. BRW shall create an advertisement flyer for the meeting. They shall be distributed through the Parks and Recreation Newsletter and webpage.

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

BETH BRANT, ASSOC. AIA, LEED AP
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: Attendees
File



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MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
 Programming
DATE: May 24, 2007
LOCATION: BRW Architects, Inc.

ATTENDEES:	REPRESENTING:	EMAIL:
Bob Tickner	Denton Parks and Rec.	robert.tickner@cityofdenton.com
Jeff Gilbert	Denton Senior Center	jeff.gilbert@cityofdenton.com
Emerson Vorel	Denton Parks and Rec.	emvorel@cityofdenton.com
Nancy Franke	Denton Senior Center	nancy.franke@cityofdenton.com
Amanda Green	Denton Parks and Rec.	aagreen@cityofdenton.com
Judy Pels	Denton Senior Center	
Craig Reynolds	BRW Architects, Inc.	creynolds@brwarch.com
Gary DeVries	BRW Architects, Inc.	gdevries@brwarch.com
Doug Hankins	BRW Architects, Inc.	dhankins@brwarch.com
Beth Brant	BRW Architects, Inc.	bbrant@brwarch.com

Discussion:

1. Gary DeVries informed the team that BRW and their consultants had visited both the Denton Senior Center and the First Baptist Church of Denton. Overall the Denton Senior Center has been well maintained and in good condition for its age. The First Baptist Church has also been well maintained but should the building undergo any renovations, the mechanical systems would be required to be updated in order to meet today's code. There are some considerable accessibility issues that would need to be addressed as well.
2. Gary shall coordinate with Jeff Gilbert and Bob Tickner in preparation for the Community Meeting on May 31, 2007. In general, BRW shall prepare a power point presentation and then break out into groups in order to receive and collect input from the community.
3. After the community meeting BRW shall compare the program generally meets the

- community's needs.
4. The following community meeting may either be a summarization of what the team learned at the first meeting or a general informative meeting speaking of phases and options.
 5. The team discussed the possibility of designing for the long-term. Craig Reynolds noted, some demographics may need to be studied in order to explain the programmatic needs to the City.
 6. As Gary reviewed the program with the team, the following items were discussed:
 - A commercial kitchen is not necessary. However, a catering kitchen and separate snack bar kitchenette is essential.
 - The immediate needs for the fitness rooms shall need to be larger.
 - The Net to Gross ratios for New Construction are usually 30% and 35% for renovations.
 7. Emerson Vorel informed BRW that the City was at one time a Quaker town, and that an archeology study may be necessary should the existing Senior Center be expanded.
 8. Doug Hankins then reviewed several conceptual scenarios with the team. Specifically, BRW showed several site plans and blocking floor plans for both the Existing Denton Senior Center and First Baptist Church in Denton. The following items were discussed:
 - The library may be best utilized if it was combined with another common space such as the Lounge or Media Room.
 - The Computer Class room shall need space for approximately 8 to 10 computer stations.
 - The multi-purpose room shall need a control point for staff monitoring and the means to close that portion off from the rest of the facility.
 9. Bob Tickner noted that he envisioned the basketball court to stay as it is for the senior's use. The team discussed would the senior's adequately utilize the space? Emerson informed the team that the Recreation Department is always short on Gym Space. Perhaps the gym could be open to be used by various groups.
 10. The team decided which of the various schemes to consider further.
 - BRW shall investigate the possibility of renovating the north portion of the First Baptist Church for the Senior Center while also maintaining the Life Center for public use.
 - BRW shall further investigate a 6,000 to 10,000 SF addition to the existing Senior Center.
 - BRW shall create a conceptual design for a newly constructed facility of approximately 27,000 SF.
 11. Gary DeVries reviewed the cost projections in relationship to the conceptual scenarios Doug Hankins previously reviewed.
 12. Emerson informed the team that while South Lakes Park remains a potential new construction site; the North Lakes Park is no longer an available site option.

13. The first of two Community Meetings is scheduled for Thursday May 31st at 6:30 in the Senior Center's Multi-purpose room.
14. The next Team Meeting is tentatively scheduled for June 18th.

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

BETH BRANT, ASSOC. AIA, LEED AP
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: Attendees
File



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MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
 Programming
DATE: August 27, 2007
LOCATION: BRW Architects, Inc.

ATTENDEES:	REPRESENTING:	EMAIL:
Emerson Vorel	Denton Parks and Rec.	emvorel@cityofdenton.com
Bob Tickner	Denton Parks and Rec.	robert.tickner@cityofdenton.com
Jeff Gilbert	Denton Senior Center	jeff.gilbert@cityofdenton.com
Amanda Green	Denton Parks and Rec.	aagreen@cityofdenton.com
Craig Reynolds	BRW Architects, Inc.	creynolds@brwarch.com
Gary DeVries	BRW Architects, Inc.	gdevries@brwarch.com
Doug Hankins	BRW Architects, Inc.	dhankins@brwarch.com
Beth Brant	BRW Architects, Inc.	bbrant@brwarch.com

Discussion:

1. The format for the community meeting no. 2 on Wednesday August 29, 2007 shall be a presentation with time for questions at the end. The meeting shall discuss the survey results, options for the directions the City could take with images showing the renovated Senior Center and a conceptual plan for new construction.
1. A meeting with the Park Board is tentatively scheduled for Monday, October 1st at 6:00pm in the Civic Center.
2. The team will most likely hold a city council work session. It is tentatively scheduled for Tuesday October 16th at 4:30pm. Emerson Vorel shall to confirm.
3. Gary DeVries reviewed the draft version on the study. The attendees shall review the draft and inform BRW of any changes that shall be made. The following items were discussed:
 - The correct name for the civic center park is "Quakertown Park."

- A newly paved parking lot is more important than additional parking spaces. BRW shall nevertheless look at providing a few more handicap parking spaces.
 - The vending area shall be relocated so that Craft Store may extend to the corner of the main corridor.
 - Combine the two fitness rooms into one fitness / weight room.
4. The team discussed the possibility of relocating the sanitary sewer line and renovating the parking lot before April of 2008.
 5. The next Team Meeting is scheduled for Wednesday September 19th at 2:00pm.

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

BETH BRANT, ASSOC. AIA, LEED AP
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: Attendees
File



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MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
Community Programming Discussion
DATE: May 31, 2007
LOCATION: BRW Architects, Inc.

<u>ATTENDEES:</u>	<u>REPRESENTING:</u>	<u>EMAIL:</u>
Senior Citizens of Denton (about 50 participants)		
Craig Reynolds	BRW Architects, Inc.	creynolds@brwarch.com
Allison Powell	BRW Architects, Inc.	apowell@brwarch.com

The following is a record of a focus group discussion led by Craig Reynolds during a community senior center programming meeting.

Discussion:

- Hours of Operation:** It was suggested that the center should be open Saturday afternoons in addition to the current operating hours.
- Services / Facility:**
 - Security, safety and accessibility are concerns. Accessibility issues such as toilet seat heights need to be addressed.
 - Consider entry access cards
 - Available parking is not sufficient
 - Weekend rental times for a multi-purpose space is desired
 - Public awareness of senior center needs to be increased (through signage, listing phone number in yellow pages, etc.)
- Fees:** It was requested that the center give more thorough explanation for the general fees. It was the group consensus that the fees for specific events were reasonable, but the general fees need further explanation. The extra cost for citizens that live outside the county was questioned by one participant.

4. **Programs:** The following items were suggested

- More educational programs and spaces
- More storage for music equipment
- It was requested that the center accommodate ACBL Games (American Contract Bridge League.)
- Games: All levels of bridge games (including ACBL) and other games
- More flexible use of spaces
- Lounge (quiet area)
- Craft room storage
- More Library space
- Indoor pool for water aerobics
- Larger Fitness Room, separate from other spaces
- More "active" physical activities and classes – for more advanced practitioners (i.e. aerobics classes)
- HVAC separate controls
- Larger front desk office space (and storage cabinets for staff)
- More social dances and larger space for dances
- Plan for future expansion
- Larger stage for drama performance and band
- Multi-purpose musical space
- Storage for folding tables
- More storage (general storage)
- Conference / Meeting Room space
- Outdoor meeting space (screened-in area)
- Health Fair

5. **Educational:**

- More classroom space
- Home Repair Seminars with tradesmen such as plumbers, electricians, etc.
- More daytime educational seminars such as gardening, language, beginning level classes to learn new skills

6. **Travel:**

- Taller, more spacious vans / buses (accessible transportation)
- More educational day trips
- Currently, the center organizes one long trip per year. This seemed to be well-liked.

7. Special Events:

- Holiday events are well-liked (i.e. Mother's Day event)
- Consider Gourmet Cooking Classes in new Kitchen
- Consider renting Kitchen out to groups

8. Computers:

- No one brings a laptop to the center
- Computers would be used more if they were in a more comfortable space

9. Food Service:

- Average lunch group is about 25-55 people
- Separate Dining Room was requested
- Better quality meals were requested
- A place to buy snacks, coffee, etc. was suggested

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

Allison Powell
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: File

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MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
Community Programming Discussion
DATE: May 31, 2007
LOCATION: BRW Architects, Inc.

<u>ATTENDEES:</u>	<u>REPRESENTING:</u>	<u>EMAIL:</u>
Gary DeVries	BRW Architects, Inc.	gdevries@brwarch.com
Abby Davis	BRW Architects, Inc.	adavis@brwarch.com

The following is a record of a focus group discussion led by Gary DeVries during a community programming meeting.

Discussion:

- Hours of Operation:** The current hours of operation should be maintained. Activities should be scheduled at a wider variety of times.
- Location:** The Senior Center's current location is centralized and convenient for members.
- Facilities:**
 - Open corridors were suggested to increase security.
 - More parking spaces and a more convenient parking lot layout is needed. Terraced or garage parking was suggested.
 - The adjacent Civic Center provides several amenities to compliment the Senior Center. A connection could be provided to link the two centers.
 - A prominent entry would enhance the Senior Center.
 - Renovations to the stage area behind the Senior Center building were suggested.
 - Energy efficiency, water conservation, and rainwater collection were could

- be used to improve the Senior Center facilities. A recycling program could also be implemented at the center.
- A living area with windows was suggested. This space would provide a place for members to gather and could have a view of the south area of the site.
 - Acoustics are an important consideration.
4. **Fees:** Program fees were generally thought to be reasonable and should remain as low as possible. Scholarship opportunities are important and should remain available.
5. **Programs:** The programs and spaces were discussed as follows:
- Dedicated use rooms for the library, fitness classes, exercise equipment, and music activities are important. The current overlap of exercise equipment and library is not effective.
 - Card and domino spaces should also be provided in dedicated areas. These areas should control outside noise.
 - Aquatic programs were discussed, but were generally regarded as unnecessary due to the nearby pool.
 - Dance programs and the wood floor in the dance room are popular.
 - Lockers for day use were suggested.
 - More storage for classrooms is needed.
 - A garden area would take advantage of the park setting. Outdoor activities could be provided in this area.
 - Educational programs at a college level are popular.
 - The wood shop could be expanded.
 - The gift shop needs a larger space.
 - Dedicated singles or couples activities were suggested.
6. **Dining:**
- The current kitchen needs updating. An improvement in the quality of food provided would create more participation in the meal program.
 - Several participants indicated that they bring their own food to the Senior Center. Dedicated refrigerator space could be provided for this purpose.
 - A separate dining room was suggested. This room could also be multi-functional for use throughout the day rather than only at mealtimes.
 - An open coffee bar was a popular suggestion.

The previous minutes are our recollection of the project discussion. Should there be any

discrepancies, please notify our office within seven days of receiving this report.

Abby A. Davis
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: Attendees
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MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
Community Programming Discussion
DATE: May 31, 2007
LOCATION: BRW Architects, Inc.

<u>ATTENDEES:</u>	<u>REPRESENTING:</u>	<u>EMAIL:</u>
Anne Hildenbrand	BRW Architects, Inc.	ahildenbrand@brwarch.com
Beth Brant	BRW Architects, Inc.	bbrant@brwarch.com

The following is a record of a focus group discussion led by Anne Hildenbrand during a community programming meeting.

Discussion:

- Hours of Operation:** The current hours of operation should be maintained.
- Services / Facility:**
 - A separate dining and catering kitchen is requested.
 - Having the option of going to eat on a patio was suggested.
 - More storage for tables and chairs are needed.
 - Being efficient and using the existing space well is important.
 - There is a need for one large space and a multi-purpose room.
 - Acoustics needs to be addressed, especially in the multi-purpose room.
 - A separate music room was suggested.
 - A larger stage is needed.
 - A larger and more prominent Craft Store was requested.

- A better and more efficient air conditioning system was requested.
 - A larger living area was suggested.
 - The reception desk needs to be lower and have more visual control over the patrons entering the facility.
 - In general they like the facility to have a warm and friendly atmosphere.
 - Green and Environmentally friendly improvements were suggested.
 - A better display and activities board is needed.
3. **Location:** The Senior Center's current location is centralized and convenient for members. In addition to this some thought as the center grows it may be beneficial to have two locations.
4. **Fees:** If activity fees are raised they should not be raised to an amount that becomes exclusive or cumbersome to the attendees.
5. **Programs:** The programs and spaces were discussed as follows:
- An indoor swimming pool was suggested.
 - Fitness space and equipment along with an option of having a personal trainer is requested.
 - The cards and game room is popular.
 - More dance classes and events were suggested.
6. **Educational:**
- Nutrition classes were suggested.
 - Cooking classes were suggested not only to learn how to cook but also to learn our to plan a menu based on correct proportions and nutritional value.
 - Art and Painting classes are popular.
 - 5 people said they would like to learn a foreign language.
 - Financial planning classes were requested.
 - 15 attendees had a personal computer at home and 4 people used the computer at the senior center. There was some interest in providing computer instructional classes. Not only on how to use a computer but also more focused classes such as using the internet or using graphic programs to do photography, etc.
 - A home repairs class was suggested. In addition to this, a resource library to hire someone to do home repairs was requested.
 - The ceramic and wood shop programs are also very popular.

- The parties and dances are popular.

7. **Travel:**

- At least 14 people in the group had attended a travel event through the Denton Senior Center.
- The attendees would like to see both local and abroad trips.
- Better buses and vans were requested.

8. **Food Services:**

- While it is important to keep the SPAN program, most of the attendees would like more variety and are willing to pay a little more to have access to a coffee or snack bar.

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

Beth Brant, LEED AP, Assoc. AIA
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: Attendees
File



DENTON SENIOR CENTER

DENTON, TEXAS



WELCOME & INTRODUCTIONS

- Bob Tickner, Superintendent, Planning
- Amanda Green, Superintendent of Leisure Services
- Jeff Gilbert, Denton Senior Center Manager
- Brown Reynolds Watford Architects, Inc.
 - Craig Reynolds, Principal
 - Gary DeVries, Project Manager - gdevries@brwarch.com
 - Anne Hildenbrand, Project Architect



PRESENTATION CONTENTS

- Purpose, Result and Next Steps
- Senior Population
- Building Design and Construction
- Programs and Facilities
Breakout Discussion Groups
- Thank You for your Participation



PURPOSE

- Purpose is to Gather Public Input and Prioritize Results:
 - Programs and Activities
 - Facility Design
- Encourage Participation at our Next Meeting at the end of July



RESULTS

- Project Results
 - Space Program
 - Concept Designs
 - Probable Cost Estimates
- Next Step
 - Approval by the Parks, Recreation and Beautification Board and City Council
 - Determine ability to fund project and appropriate funding source(s)



The Next Era

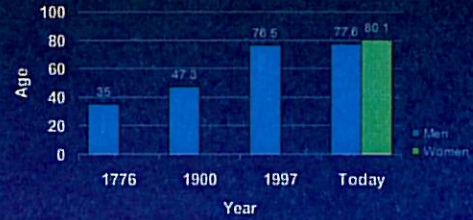


Senior Population

Generation	Born	Current	
		Age	Stage
Traditionalist	1925-1945	81-61	Mature Adult
Baby Boomers	1946-1963	60-43	Second Adulthood
Gen X	1964-1980	42-26	Adult
Gen Y	1981-Today	25-0	Youth



Life Expectancy Over Time

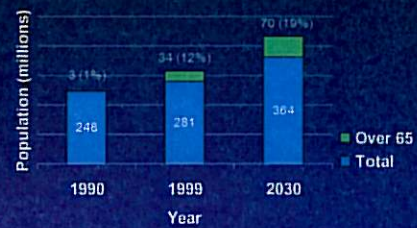


Senior Population Growth

- Older population growth slowed in 1990's due to the Great Depression in the 1930's
- Rapidly expand from 2010 to 2030 when Baby Boomers reach 65



Senior Population Growth



"Baby Boomer" Senior Center Participant

- Multi-generational
- Ethnically diverse
- Higher expectations of quality and service
- Healthier and putting off retirement
- Living longer
- More active



MOST POPULAR PROGRAMS

- Day trip travel
- Education
- Health & fitness activities
- Arts & crafts
- Dances
- Games and billiards
- Movies
- Special events



MOST POPULAR EDUCATION SEMINARS

- College-level courses
- Health
- Computer & photography
- Arts History
- Music
- Finance
- Genealogy
- Literature
- Demonstration cooking
- Driver safety



Collaboration with
Colleges / Universities



OPERATIONAL COSTS

- Operating Budgets
 - Operating Cost vs. Revenues
 - Self-Sustaining vs. Subsidized
- Factors that affect Operating Budgets
 - Rentals
 - Hours of Operation
 - Staffing and Volunteers
 - Donors and Grants



CONSTRUCTION COSTS

- Trends in Building Construction Cost
 - 30% Construction Cost Escalation in last 3 years
- Factors that Affect Building Cost
 - Extent of Interior Design
 - Site Development
 - Foundation Design



FACILITY TRENDS

- More home-like interior design
 - More recreation amenities, including gymnasiums and larger fitness areas
 - Social living rooms
 - Wireless internet service
 - Better food & dining facilities
 - Business / copy center
- Fees related to "Pay for Play"



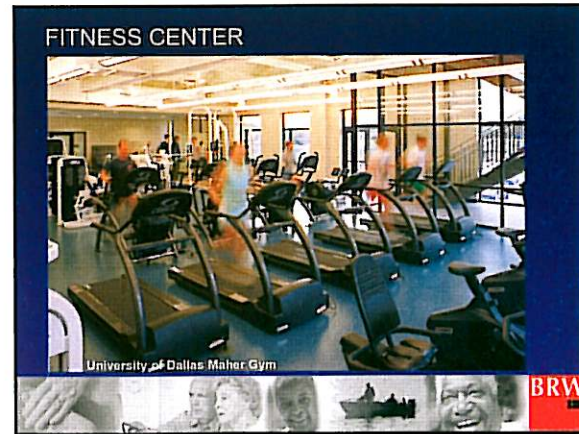
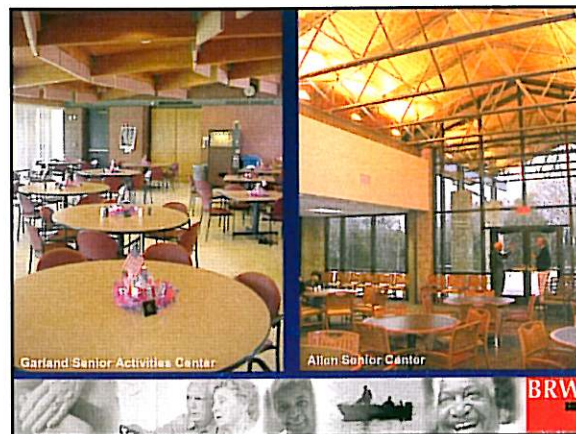
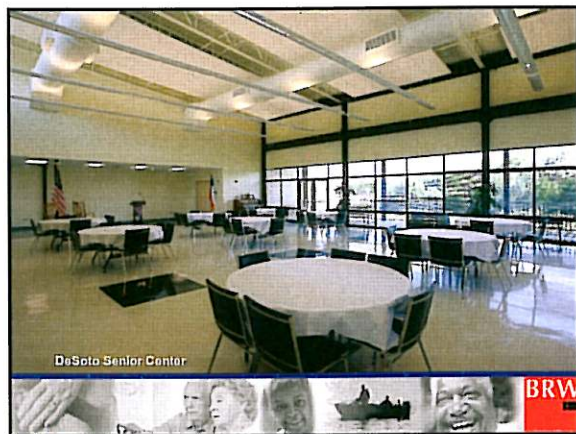
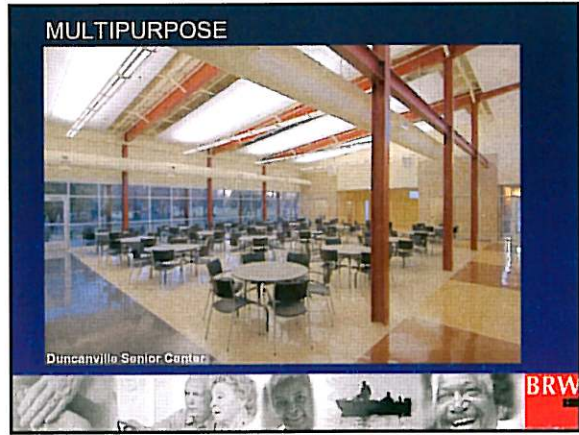
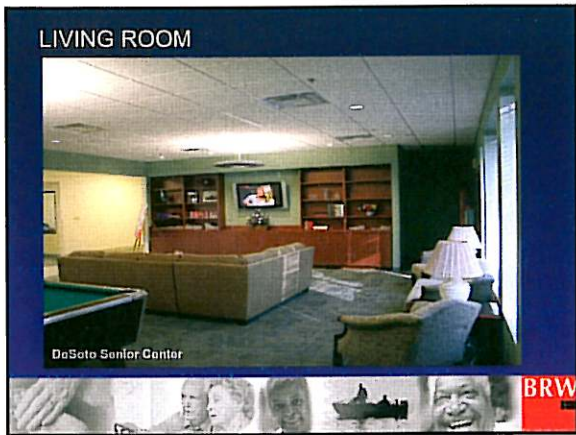
WELCOMING ENTRY

Grapevine Senior Activities Center


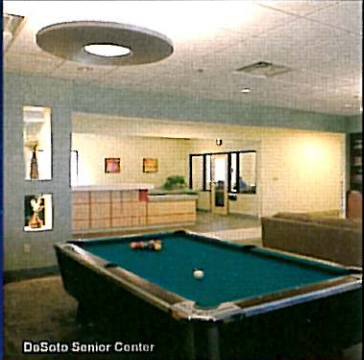
DeSoto Senior Center

GREETING / CONTROL POINT


DeSoto Senior Center




BILLARDS


DaSoto Senior Center




LIBRARY / COMPUTER



TWU Student Center




CERAMICS / ARTS & CRAFTS




Grapvine Senior Activities Center




ART / DISPLAY




DaSoto Senior Center




OUTDOOR SPACES




St. Patrick's Parish Center



GARDENS



Garland Senior Activity Center



BREAKOUT DISCUSSION GROUPS

- Discussion Process
 - Breakout into small groups
 - Leader asks different questions
 - Individuals volunteer ideas and opinions
 - Write down all discussion
 - Review discussion results at next meeting



Thank You
for your Participation

Please Come to our
Next Meeting at the end of July



DENTON SENIOR CENTER
DENTON, TEXAS





3535 TRAVIS STREET
 SUITE 250 LB-102
 DALLAS, TEXAS 75204
 214-528-8704
 FAX 528-8707
 WWW.BRWARCH.COM

MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
 Programming
DATE: June 18, 2007
LOCATION: BRW Architects, Inc.

ATTENDEES:	REPRESENTING:	EMAIL:
Bob Tickner	Denton Parks and Rec.	robert.tickner@cityofdenton.com
Jeff Gilbert	Denton Senior Center	jeff.gilbert@cityofdenton.com
Amanda Green	Denton Parks and Rec.	aagreen@cityofdenton.com
Terry Frushour	Denton Senior Center	fulhause@hotmail.com
Craig Reynolds	BRW Architects, Inc.	creynolds@brwarch.com
Gary DeVries	BRW Architects, Inc.	gdevries@brwarch.com
Doug Hankins	BRW Architects, Inc.	dhankins@brwarch.com
Beth Brant	BRW Architects, Inc.	bbrant@brwarch.com

Discussion:

1. Gary DeVries began the meeting by reviewing the project schedule and the survey results from the community meeting on May 31, 2007. In general the Senior Center Program aligns with the feedback from the seniors.
2. The survey also indicates that future renovations or expansions shall need to focus on acoustics and lightings.
3. The team discussed whether to present another survey at the next community meeting. It was decided that instead of distributing the same survey, BRW shall work to create a few questions that will respond to and define the last survey results.
4. Gary DeVries and Bob Ticker discussed the existing Denton Senior Center's site issues. Should the senior center be expanded the existing sanitary sewer line will be relocated. In addition to this any addition will need to have its finish floor 3 feet above the flood plain (623.00). The current elevation is at 621.6 as a result the

- addition would require another level change in the facility.
5. Doug Hankins then reviewed development options for the existing Denton Senior Center. The following items were discussed:
 - When the exercise class is in session, the parking lots are completely full.
 - BRW shall investigate the possibility of converting the on street parking into off street parking for the center.
 - Amanda to discuss with Emerson the possibility of relocating the existing amphitheater to the east of the Senior Center for expansion.
 6. Next Doug reviewed development options for the First Baptist Church. The team discussed what the city could do with the extra land and square footage not being used by the senior center.
 7. Lastly Doug reviewed the development options for new construction. The team thought the possibility of walking track or trails might be a vary nice amenity for the senior's
 8. Bob Tickner provided BRW with four possible new construction sites.
 9. The next Community Meetings is scheduled for Thursday August 8th at 6:30 in the Senior Center's Multi-purpose room.
 10. The next Team Meeting is scheduled for July 18th at 2:00pm in Senior Center's conference room.

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

BETH BRANT, ASSOC. AIA, LEED AP
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: Attendees
File



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 DALLAS, TEXAS 75204
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 WWW.BRWARCH.COM

MEETING MINUTES

BRW PROJECT NO: 27042.00
RE: Denton Senior Center Study
 Community Programming Discussion
DATE: August 29, 2007
LOCATION: BRW Architects, Inc.

ATTENDEES:	REPRESENTING:	EMAIL:
Senior Citizens of Denton (about 100 attendees)		
Emerson Vorel	Denton Parks and Rec.	emvorel@cityofdenton.com
Bob Tickner	Denton Parks and Rec.	robert.tickner@cityofdenton.com
Jeff Gilbert	Denton Senior Center	jeff.gilbert@cityofdenton.com
Amanda Green	Denton Parks and Rec.	aagreen@cityofdenton.com
Craig Reynolds	BRW Architects, Inc.	creynolds@brwarch.com
Gary DeVries	BRW Architects, Inc.	gdevries@brwarch.com
Doug Hankins	BRW Architects, Inc.	dhankins@brwarch.com
Beth Brant	BRW Architects, Inc.	bbrant@brwarch.com

Discussion:

1. Craig Reynolds introduced BRW and the City of Denton team members to the meetings attendees. Craig and Gary presented the results from the survey given at the first community meeting, the funds available, schedule, and the conceptual floor plans for both the renovated existing senior center and a possible future floor plan to meet the Senior Center's long-term needs.
2. During the presentation, Bob Ticker further explained the current available funds and when the future bonds would be sold to become available for renovation of the existing Senior Center.
3. Immediately following the presentation, the audience was provided the opportunity to ask questions or give comments. The following items were discussed:
 - Indoor / outdoor access should be addressed.
 - Consider the possibility of an enclosed garden so that seniors may enter and

leave the garden freely without risking the security of the facility.

- Consider the use of an intercom or PA system so that staff may communicate more effectively with each other and its patrons.
- A fireplace is not needed, but built-in cabinetry and bookshelves are desired.
- Re-consider the use of a reading room and computers together. Men typically use the computers and women generally use the library, the mixing of genders for these functions may not be desirable.
- The use of either a new garden or preservation of the existing garden is very important to the facility.

The previous minutes are our recollection of the project discussion. Should there be any discrepancies, please notify our office within seven days of receiving this report.

Beth Brant, LEED AP, Assoc. AIA
BRW ARCHITECTS, INC.

ATTACHMENTS: None

cc: File



DENTON SENIOR CENTER

DENTON, TEXAS

Denton City Council Presentation



PRESENTATION CONTENTS

- Results from Community Meeting Programming Survey
- Funding and Schedule
- Space Program
- Existing Denton Senior Center
- Future Denton Senior Center



STUDY PARTICIPANTS

- Emerson Vorel, Parks & Recreation Director
- Bob Tickner, Superintendent of Parks Planning
- Amanda Green, Superintendent of Leisure Services
- Jeff Gilbert, Denton Senior Center Manager
- Brown Reynolds Watford Architects, Inc.
 - Craig Reynolds, Principal
 - Gary DeVries, Project Manager - gdevries@brwarch.com
 - Doug Hankins, Project Designer
 - Beth Brant, Project Coordinator



PURPOSE

- Purpose is to Gather Public Input and Prioritize Results



RESULT

- Feasibility Study for Consideration by the Parks, Recreation and Beautification Board and City Council
- Review Existing Funding and Determine Ability to Fund Future Projects and Appropriate Funding Source(s)



TODAY'S SENIOR CENTER PARTICIPANT

- Multi-generational
- Ethnically diverse
- Higher expectations of quality and service
- Healthier and putting off retirement
- Living longer
- More active



PROGRAMMING SURVEY RESULTS

- Why do you attend? Socialize, then health and fitness
- Median age: 65 - 80
- What times do you attend? Morning, then evening
- Some would pay additional money for better food variety
- Some would support higher annual fees for additional building amenities and programs
- Mixed reaction regarding rental space
- Requested programs
 - More advance classes
 - More evening programs
 - More dance class variety
 - More trips, fewer cruises



PROGRAMMING SURVEY RESULTS

Most Popular Programs

- Group Exercise, Stretch N' Tone, Aerobics
- Driver Safety
- Computer
- Social Dancing
- Young at Heart Band, New Horizons Band
- Card Games
- Photography
- Sewing & Needlework
- Book Club & Genealogy
- Fine Arts



PROGRAMMING SURVEY RESULTS

Requested Building Amenities

- Fitness and exercise rooms
- Garden, outdoor covered patio
- Computer / multi-media room
- Social living room, comfortable chairs
- Separate dining, coffee / snack bar
- Separate game / card room
- Larger fine arts spaces
- Larger performance stage
- Music rehearsal rooms
- Walking trails
- Better acoustics



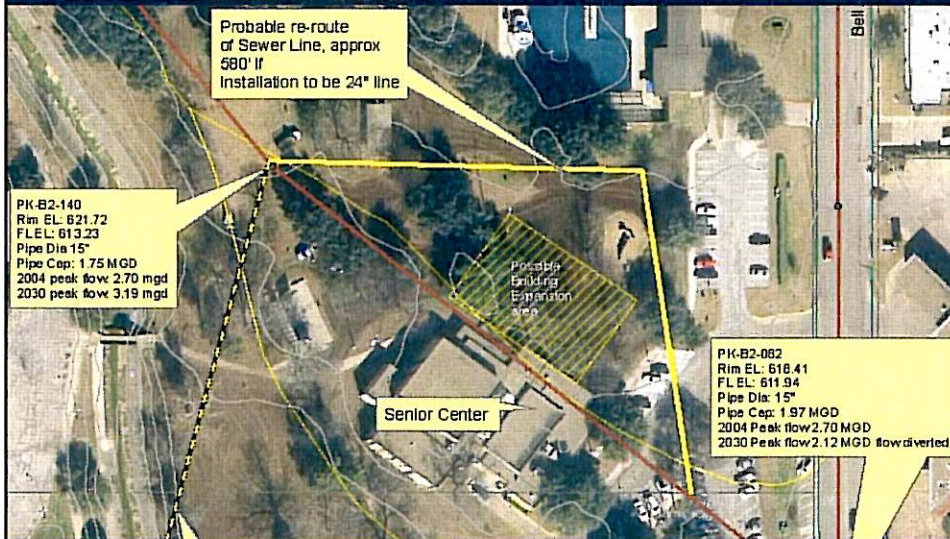
SITE DEVELOPMENT



Quakertown
Park Plan



SITE DEVELOPMENT



FUNDING AND PROJECT SCHEDULE

- Current Funding \$539,875
 - Nov '07 - April '08 Parking Improvements
 - April 2008 \$1,305,000 Bond Sale
 - May '08 - May '09 Senior Center Construction
-
- Future Funding Bond Program



EXISTING FUNDING SCHEDULE

Phasing Schedule

Options	Tasks	2007				2008				2009				2010												
		J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	
A	Existing Senior Center																									\$1,900,000
	Phase 1																									
	Funding Available																									
	Design and Bidding																									
	Parking Renovation																									
	Phase 2																									
	Funding Available																									
	Design and Bidding																									
	Building Renovation																									
																										17,290 - 19,430 Total SF



SPACE PROGRAM

- Existing Senior Center (option 1)

– Light Renovation	12,215
– Moderate Renovation	4,215
– Additional Square Feet	860
– Total Square Feet	17,290

- Existing Senior Center (option 2)

– Light Renovation	15,530
– Moderate Renovation	900
– Additional Square Feet	3,000
– Total Square Feet	19,430

- Long Term Needs

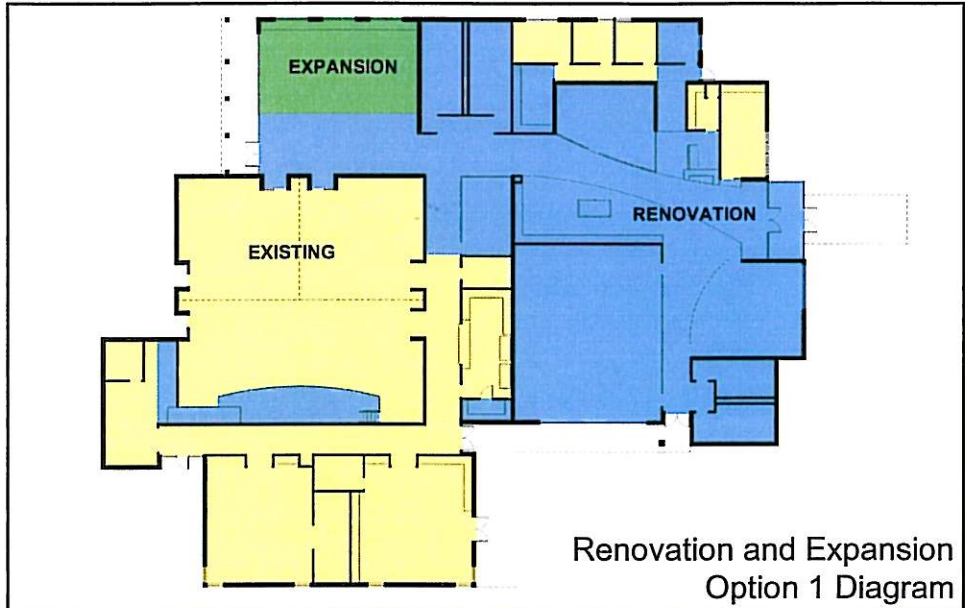
– New or Renovated Square Feet	37,500
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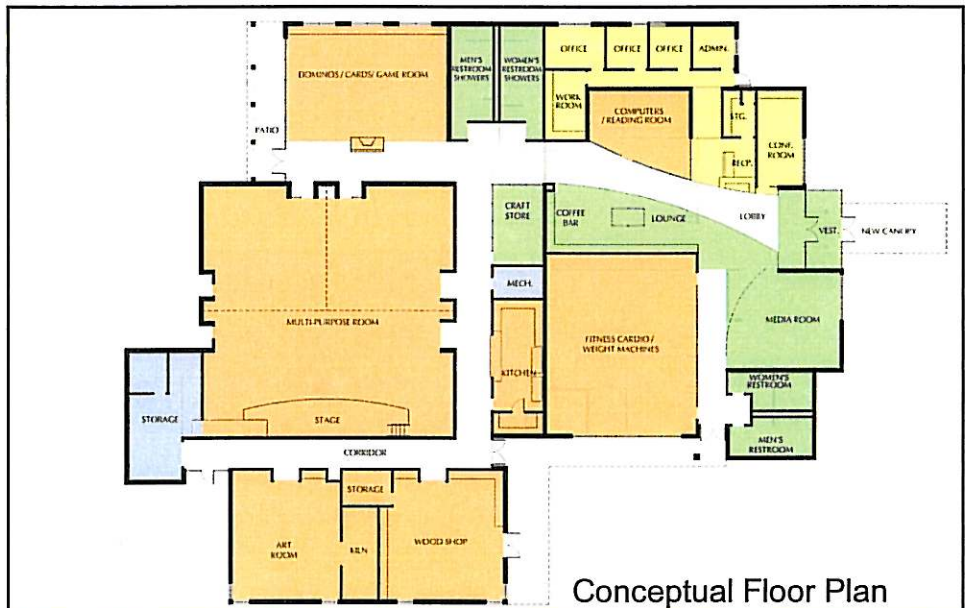
PARKING IMPROVEMENTS

Conceptual Site
Plan - Option 1
860 SF Addition





Renovation and Expansion
Option 1 Diagram



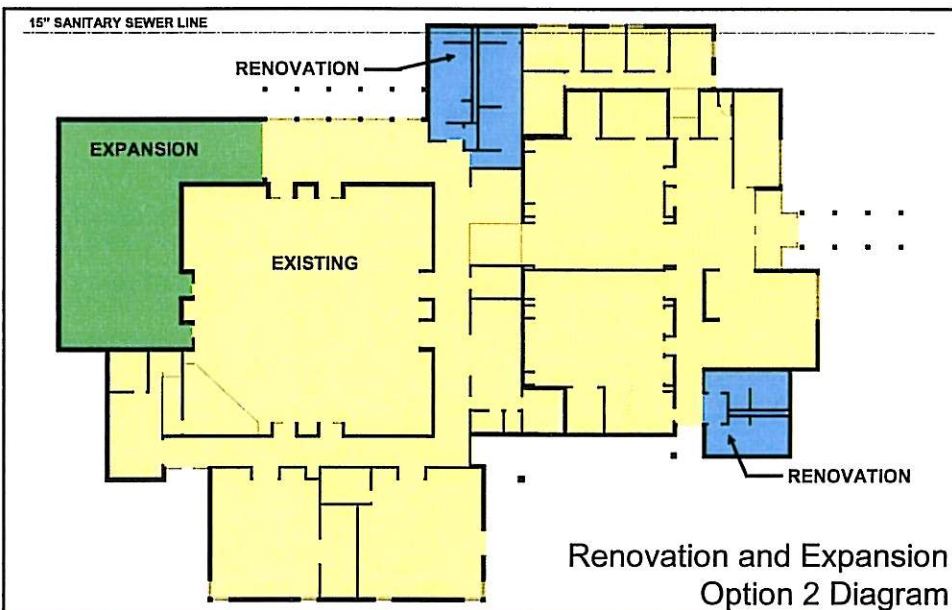
Conceptual Floor Plan



PARKING IMPROVEMENTS



Conceptual Site Plan - Option 2
3,000 SF Addition



BUILDING RENOVATION



First Baptist Church



BUILDING RENOVATION

First Baptist
Church of Denton



Conceptual Site Plan



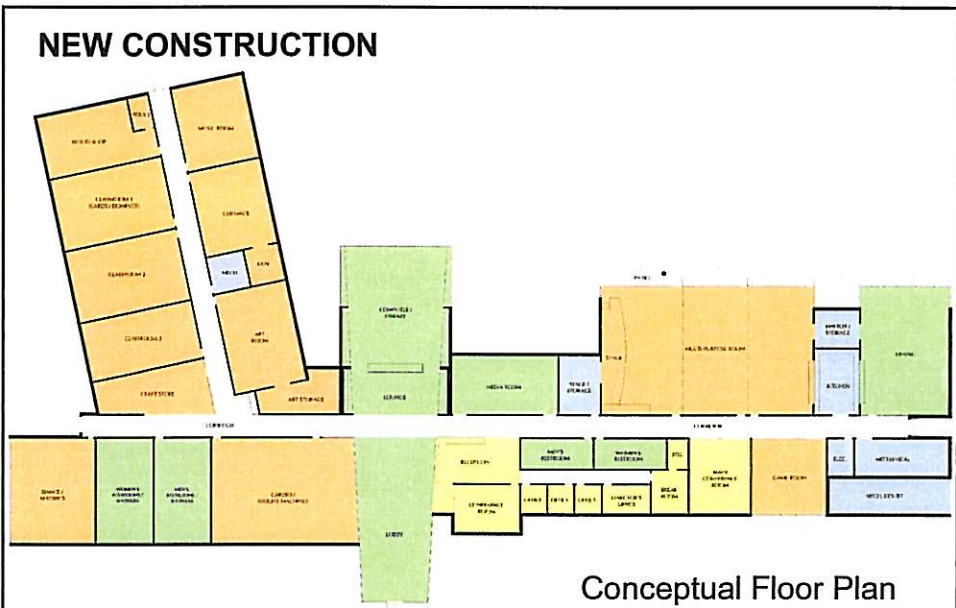
BUILDING RENOVATION

Conceptual Floor Plan - Phase 1

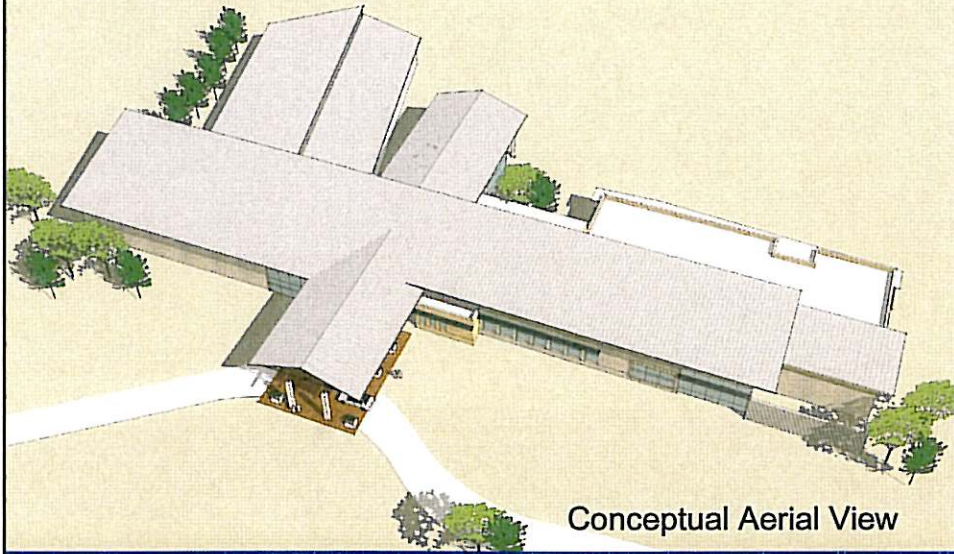


NEW CONSTRUCTION

Conceptual Floor Plan



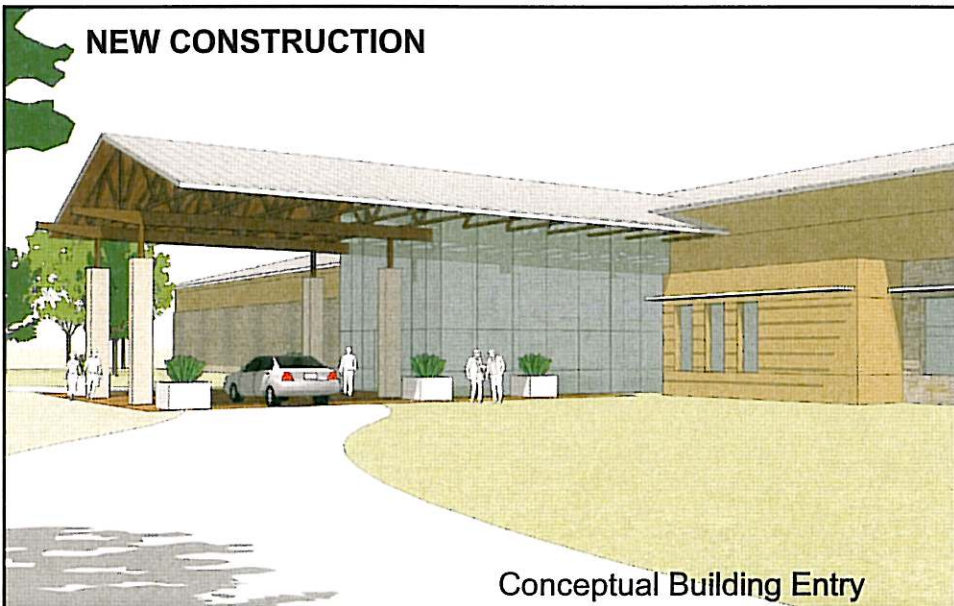
NEW CONSTRUCTION



Conceptual Aerial View



NEW CONSTRUCTION



Conceptual Building Entry



SITE STUDY



North Lakes Park
Potential Site Location



SITE STUDY



South Lakes Park
Potential Site Location



SITE STUDY



Lake Forest Park
Potential Site Location

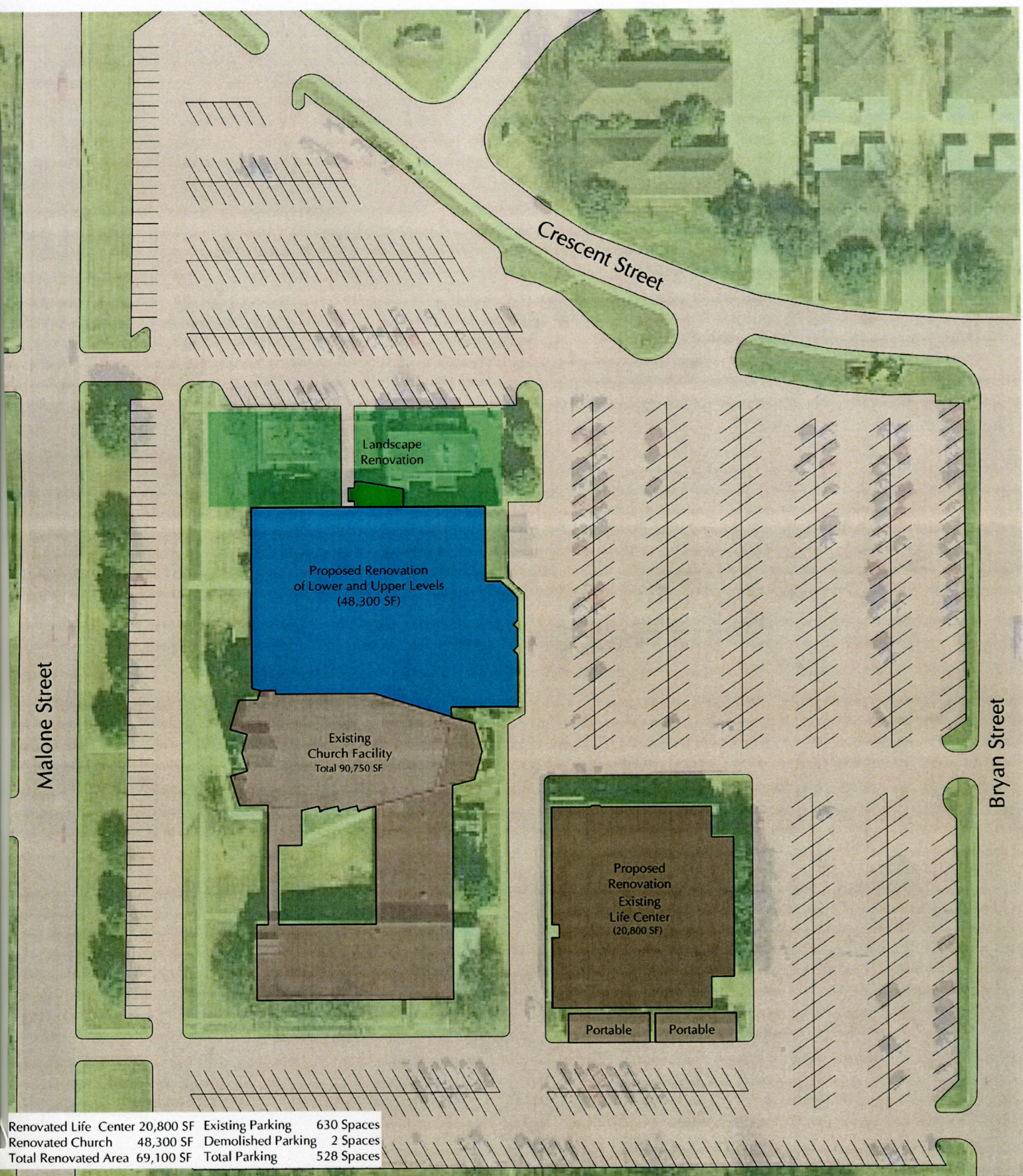


DENTON SENIOR CENTER

DENTON, TEXAS

Denton City Council Presentation





Malone Street

Crescent Street

Bryan Street

Landscape Renovation

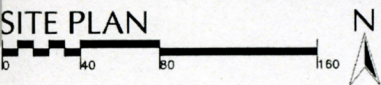
Proposed Renovation of Lower and Upper Levels (48,300 SF)

Existing Church Facility Total 90,750 SF

Proposed Renovation Existing Life Center (20,800 SF)

Portable Portable

Renovated Life Center	20,800 SF	Existing Parking	630 Spaces
Renovated Church	48,300 SF	Demolished Parking	2 Spaces
Total Renovated Area	69,100 SF	Total Parking	528 Spaces



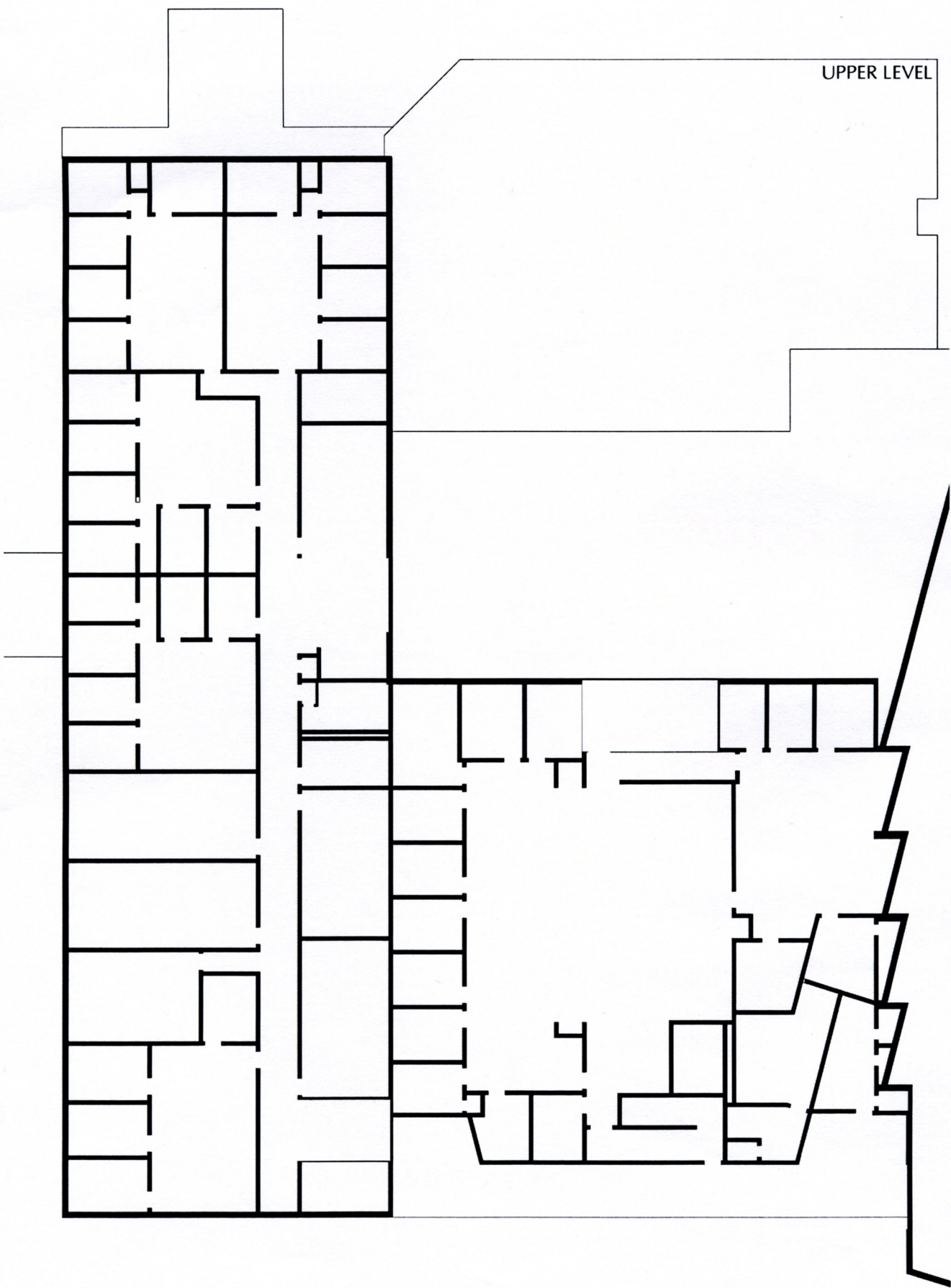
**DENTON SENIOR CENTER
BOND PROGRAM 2010**

Denton Senior Center
City of Denton
Brown Reynolds Watford + Architects, Inc.

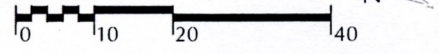
LOWER LEVEL



UPPER LEVEL



FLOOR PLAN

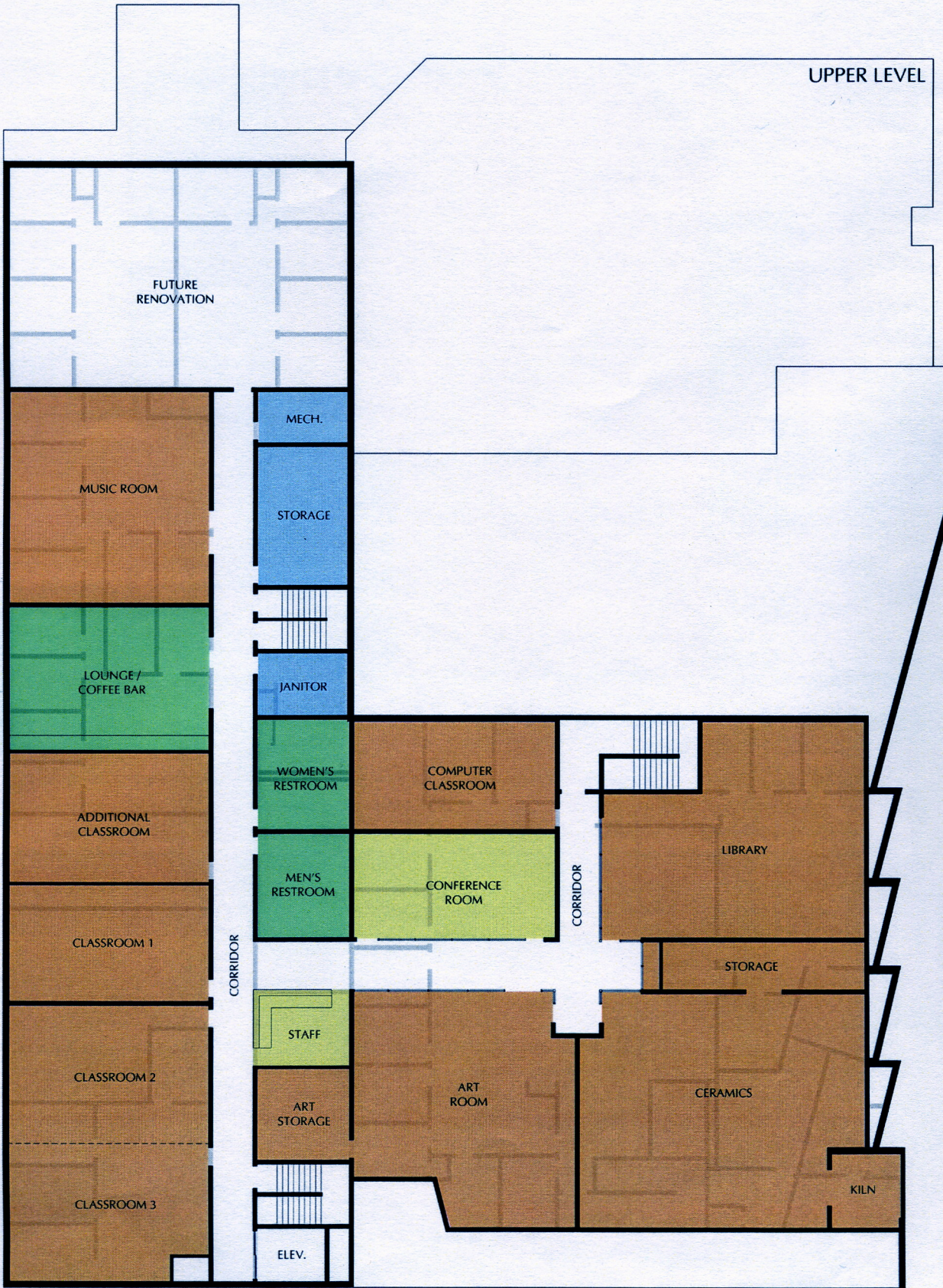


RENOVATION OF FIRST
FOR DENTON SEN
BOND PROGR

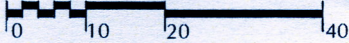
LOWER LEVEL



UPPER LEVEL



FLOOR PLAN



RENOVATION OF FIRE FOR DENTON S FUTURE BON